

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Questions may be directed to the Planning Division at (310) 618-5990.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please provide 10 color copies to staff before speaking.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Written comments may also be delivered by mail or submitted in-person to the Permit Center (Planning Counter) in the Community Development Department located at the above referenced address, open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA
AUGUST 7, 2024
REGULAR MEETING
6:30 P.M. IN THE GEORGE NAKANO THEATRE
AT 3330 CIVIC CENTER DRIVE.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM
LISTED ON THE AGENDA**

1. CALL MEETING TO ORDER

ROLL CALL: Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chairman Kartsonis

2. FLAG SALUTE

3. REPORT OF STAFF ON THE POSTING OF THE AGENDA

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Thursday, August 1, 2024.

4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS

5. ORAL COMMUNICATIONS

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 10 color copies to staff before speaking.

6. CONSENT CALENDAR

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

6A. Approval of Minutes: None

7. ADMINISTRATIVE MATTERS

7A. Community Development – Consider Approval of WAV24-00001: CHRISTOPHER SERPAS (MICHAEL PETERSEN AND CHRISTINE DANIELS)

Recommendation of the Community Development Director that Planning Commission consider approval of a Waiver to allow a retaining wall of varying heights, up to 10 feet tall, on property located within the Hillside Overlay in the R-1 Zone at 5203 Doris Way. This project is Categorically Exempt from CEQA per Guidelines Section 15305 – Minor Alterations. (Res. No. 24-033)

8. HEARINGS

8A. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00002: MANDY HUANG (YIN QING HE)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Conditional Use Permit to allow the operation of a restaurant on property located in the C-2 Zone at 4860 190th Street. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-042)

8B. Community Development – Conduct a Public Hearing to Consider Approval of DIV24-00001: DENN ENGINEERS (JEAN L. CROCCO TRUST / DALE AND HOWARD F. KORMAN TRUST)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Division of Lot to allow a lot line adjustment between two lots, on properties located within the Hillside Overlay in the R-1 Zone at 4522 and 4600 Paseo de las Tortugas. This project is Categorically Exempt from CEQA per Guidelines Section 15305 – Minor Alterations. (Res. No. 24-043)

8C. Community Development – Conduct a Public Hearing to Consider Approval of PCR23-00003: KEVIN GILCHRIST AND LAURA FOURNESS

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Planning Commission Review to allow first-story additions to an existing one-story single-family residence, on property located within the Torrance Tract Overlay in the R-2 Zone at 703 Madrid Avenue. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-044)

8D. Community Development – Conduct a Public Hearing to Consider Approval of PRE24-00002: ROBERT RIBLETT (ANGELA DANIELS)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Precise Plan of Development to allow one-story addition to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 5405 Paseo de Pablo. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-045)

9. RESOLUTIONS

10. COMMISSION ORAL COMMUNICATIONS

11. ADJOURNMENT

Adjournment of Planning Commission meeting to Wednesday, August 21, 2024, at 6:30 p.m. in the Council Chamber.

AGENDA ITEM NO. 7A

DATE: August 7, 2024

TO: Planning Commission

FROM: Austin Lujan, Management Aide
Leo Oorts, Planning Manager

SUBJECT: 5203 Doris Way (APN 7530-007-001)
Waiver (WAV24-00001)

Consideration of a Waiver to allow a retaining wall of varying heights, up to 10 feet tall, on property located within the Hillside Overlay in the R-1 Zone at 5203 Doris Way (APN 7530-007-001).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission consider adoption of Resolution No. 24-03) and approval of a Waiver to allow a retaining wall of varying heights, up to 10 feet tall, on property located within the Hillside Overlay in the R-1 Zone at 5203 Doris Way (APN 7530-007-001), and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15305 (Minor Alterations).

EXECUTIVE SUMMARY

The project applicant, Christopher Serpas (Michael Petersen and Christine Daniels), requests approval by the Planning Commission to allow a retaining wall of varying heights, up to 10 feet tall, on property located within the Hillside Overlay in the R-1 Zone at 5203 Doris Way (APN 7530-007-001).

The development standards of the R-1 Zone (Single Family Residential District) and the Torrance Municipal Code (TMC), as well as the planning and design provisions of the Hillside Overlay are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Waiver (WAV) to allow a retaining wall of varying heights, up to 10 feet tall.

Staff has thoroughly reviewed the project and determined the project is consistent with the Low-Density Residential (R-LO) land use designation and with approval of the Waiver, complies with the objective development standards of the R-1 Zone, as well as the planning and design provisions of the Hillside Overlay, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Waivers are Categorical Exempt by the Guidelines for implementation of the California Environmental Quality Act; Article 19, Section 15305 (Minor Alterations).

General Plan Land Use Designation

The project site has a General Plan land use designation of Low Density Residential (R-LO), which allows up to nine dwelling units per acre. Development in the R-LO land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive

neighborhood. The R-1 Zone and the Low-Density Residential designation permit by right the construction of a retaining wall up to a maximum height of 5 feet. Discretionary approval of a Waiver is required to exceed the 5-foot height limit for retaining walls.

Zoning Designation and Adjacent Land Uses

The project site is designated as R-1 Zone (Single Family Residential District) and surrounded by three parcels that share the same zoning designation and Hillside Overlay, and developed with similar land uses to the north, east, and west, as well as a parcel that is designated as C-2 (General Commercial District) and Hillside Overlay (Attachment 2).

NORTH:	R-1/R-H	Single Family Residence
SOUTH:	R-1/R-H	Single Family Residence
	C-2/R-H	General Commercial District
EAST:	R-1/R-H	Single Family Residence
WEST:	R-1/R-H	Single Family Residence

Project Site

The subject site is located at the northeast corner of Doris Way and Vanderhill Road. The project is situated on a mostly rectangular lot measuring 8,680 square feet, which is more than the minimum lot area (6,000 square feet) required in the R-1 Zone. The site contains a one-story single-family residence with attached two-car garage. Residences in the vicinity are one- and two-story structures. The property slopes up from front (south) to rear (north), and in the rear third of the property, slopes up from east to west. The building pad sits higher than the public right of way and remains relatively level for the front two thirds of the property, with the rear third sloping up. Doris Way slopes up from east to west, and Vanderhill Road slopes up from south to north. As such, the adjacent residences to the west and to the north sit higher than the subject property.

Minor Hillside Exemption (MHE22-00063/ MHE23-00062)

In January 2023, a Minor Hillside Exemption (MHE22-00063) was approved that allowed a 384 square foot addition, the conversion of the existing attached garage to living area, and a new 570 square foot detached garage. Related construction permits (BLD23-02511, GRD23-00086) have been applied for but have yet to be issued. MHE22-00063 had previously included the replacement of an as-built retaining wall along the west property line, but upon further review during plan check, the retaining wall needed additional height to match the slope of the adjacent property. The applicant also submitted an application for a Minor Hillside Exemption in December 2023 (MHE23-00062), but staff noted that the proposed retaining wall required a Waiver to exceed the maximum height requirement. Staff notes that the previously approved scope of work under MHE22-00063 is not subject to consideration.

Retaining Wall

The subject retaining wall measures 121' 6" long and is located along the west property line and proposed at varying heights to match the slope of the adjacent property. The west side of the wall consists of four sections. The first section of the wall is 35' 6" long and 1' 11" tall. The second section of the wall is 21' long and 6' 2½" tall with a 30" topper. The third section is 19' long and 7' 7½" tall with a 30" topper. The fourth section of the wall is 3' 6" long and 10' tall with a 30" topper. The wall then returns easterly into the property, becoming the rear wall. The rear wall starts at 10' tall on the northwest side and as the grade descends towards the east, shortens to a height of 2' 6". The retaining wall will provide a smooth cement finish, with a topper consisting of wood slats and steel framing.

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission may grant a Waiver provided the project scope does not require approval of a Precise Plan of Development. The project scope does not involve new construction or remodeling of a dwelling that exceeds 50% of the lot area, nor involve a second story addition or roof deck or construction that

exceeds 14' in height, and in the judgment of staff, does not have the potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. Therefore, the Planning Commission may grant approval of the Waiver without making findings related to the Hillside Overlay.

Criteria for Granting a Waiver

The Planning Commission may grant a Waiver of development standards relating to front, rear, and side yard requirements, court requirements, building/structure heights, and distances between buildings. The criteria for granting a Waiver are specified in Section 94.2.4 of the Torrance Municipal Code, which states:

A waiver may be granted if, in the judgment of the Planning Commission or the City Council:

- a) Unreasonable difficulties will result from the strict enforcement of this Division;
- b) It will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof; and
- c) It will not substantially interfere with the orderly development of the City as provided for in this Division.

The project proposes a retaining wall of varying heights, up to 10 feet tall. Section 92.13.1(g)(1) of the Torrance Municipal Code establishes a height limit of 5 feet for retaining walls, and further states that should the grade to be retained exceeds 5 feet, additional retaining walls may be constructed as a series, provided there is a 2-foot separation between retaining walls. The applicant was required to provide facts to substantiate criteria by which the Planning Commission may grant this Waiver (Attachment 3).

In the judgement of staff, the request for a Waiver of the retaining wall height limit meets the criteria for approving a Waiver. The subject property exhibits substantial physical hardships, such as significant topographical issues and existing site layout, that create practical difficulties. The existing west side yard setback of 5 feet cannot accommodate a secondary retaining wall for height purposes, while still satisfying a Code required 5-foot-wide level setback around structures per Section 91.41.9(b)(3) of the Torrance Municipal Code. The grade of the adjacent property to the west is much higher than 5203 Doris Way, necessitating the increased height of the retaining wall. Granting of the Waiver will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof, as the project replaces an existing deteriorating wall, addresses potential run-off concerns with the higher adjacent grade, and creates a legal walkway from the front of the property to the rear of the property. Lastly, granting of the Waiver will not substantially interfere with the orderly development of the City, as the retaining wall will be situated entirely on the property with the over-height sections of the retaining wall beginning more than 47' from the front property line and more than 45' from the east property line, and thus will not interfere with the public right-of-way along Doris Way or Vanderhill Road. The project maintains the land use as a single-family residence, which is consistent with the R-1 Zone and the Low-Density Residential land use designation.

As of the preparation of this report, no communication has been received from neighboring properties.

CONCLUSION

In judgement of staff, the proposed retaining wall conforms to the planning and design provisions of the Hillside Overlay and would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. Furthermore, a Waiver to allow the construction of a retaining wall of varying heights, up to 10 feet tall, satisfies the hardship criteria for approval, as the physical hardships of the property create unreasonable difficulties. The project is compatible with surrounding homes and the existing single-family residence remains an appropriate use for this neighborhood. The subject request complies is consistent with the Low-Density Residential land use designation.

Staff recommends approval of the project, as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 4). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 25, 2024, to the registered owner of properties located within a 300' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-033
2. Location and Zoning Map
3. Waiver Substantiation
4. Code Requirements
5. Project Plans (Limited Distribution)

STAFF CONTACT

Austin Lujan, Management Aide
ALujan@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 7A
ATTACHMENT 1
RESOLUTION NO. 24-033

PLANNING COMMISSION RESOLUTION NO. 24-033

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A WAIVER AS PROVIDED FOR IN DIVISION 9, CHAPTER 4, ARTICLE 2 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A RETAINING WALL OF VARYING HEIGHTS, UP TO 10 FEET TALL, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 5203 DORIS WAY (APN 7530-007-001).

**WAV24-00001: CHRISTOPHER SERPAS
(MICHAEL PETERSEN AND CHRISTINE DANIELS)**

WHEREAS, the Planning Commission of the City of Torrance on August 7, 2024, considered an application filed by Christopher Serpas (Michael Petersen and Christine Daniels) for a Waiver (WAV24-00001) to allow a retaining wall of varying heights, up to 10 feet tall, on property located within the Hillside Overlay in the R-1 Zone at 5203 Doris Way (APN 7530-007-001); and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 4, Article 2 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 5203 Doris Way (APN 7530-007-001);
- b) That the property is described as Lot 1 of Track 15397 per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That Waivers are Categorically exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15305 (Minor Alterations);
- d) That the construction of a retaining wall is permitted within the Single-Family Residential District (R-1 Zone), and the proposed project is consistent with the Low-Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That there are unreasonable difficulties resulting from the strict enforcement of the retaining wall height limit because the proposed retaining wall of varying heights follows the slope of the adjacent property to the west, which is much higher than the subject property, creating the potential for run-off concerns. Further, the existing west side yard cannot accommodate a secondary retaining wall while providing a Code required 5-foot level setback;
- f) That the proposed retaining wall will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof because the project replaces an existing deteriorating wall, addresses potential run-off concerns with the higher adjacent grade of the neighboring property, creates a legal walkway from the front to the rear of the property, and is located interior to the property and not street facing. The subject request does not change the existing residence and the property will still be compatible with the character of the neighborhood; and
- g) That exceeding the retaining wall height limit will not substantially interfere with the orderly development of the City because the retaining wall will be situated entirely on the property with the over-height sections of the retaining wall beginning more than 47' from the front property line and more than 45' from the east property line, and thus will not interfere with the public right-of-way along Doris Way or Vanderhill Road. The proposed improvements will maintain the land use as a single-family residence, complying with the Zone and General Plan designation;

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** WAV24-00001, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that Waiver (WAV24-00001) to allow a retaining wall of varying heights, up to 10 feet tall, on property located within the Hillside Overlay in the R-1 Zone at 5203 Doris Way (APN 7530-007-001), on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That use of the subject property as single family residence shall be subject to all conditions imposed in Waiver 24-00001; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if Waiver 24-00001 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of this signed Resolution, with all conditions of approval, shall be included as an attachment to the Building set of plans when submitting for plan check; (Planning)
4. That the maximum height of the retaining wall shall not exceed 10 feet as shown on the project plans submitted with the Waiver request; (Planning)
5. That within 30 days of the final public hearing, the applicant shall return the City’s “Public Notice” sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
6. That new vegetation in City easement cannot exceed 18 inches in height; and (Public Works/Planning)
7. That every section of the rear portion of the retaining wall which exceeds 3 feet in height will be topped by a wall or fence not less than 3 feet in height.
8. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 7th day of August 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 7th day of August 2024, by the following roll call vote:

AYES: COMMISSIONERS:

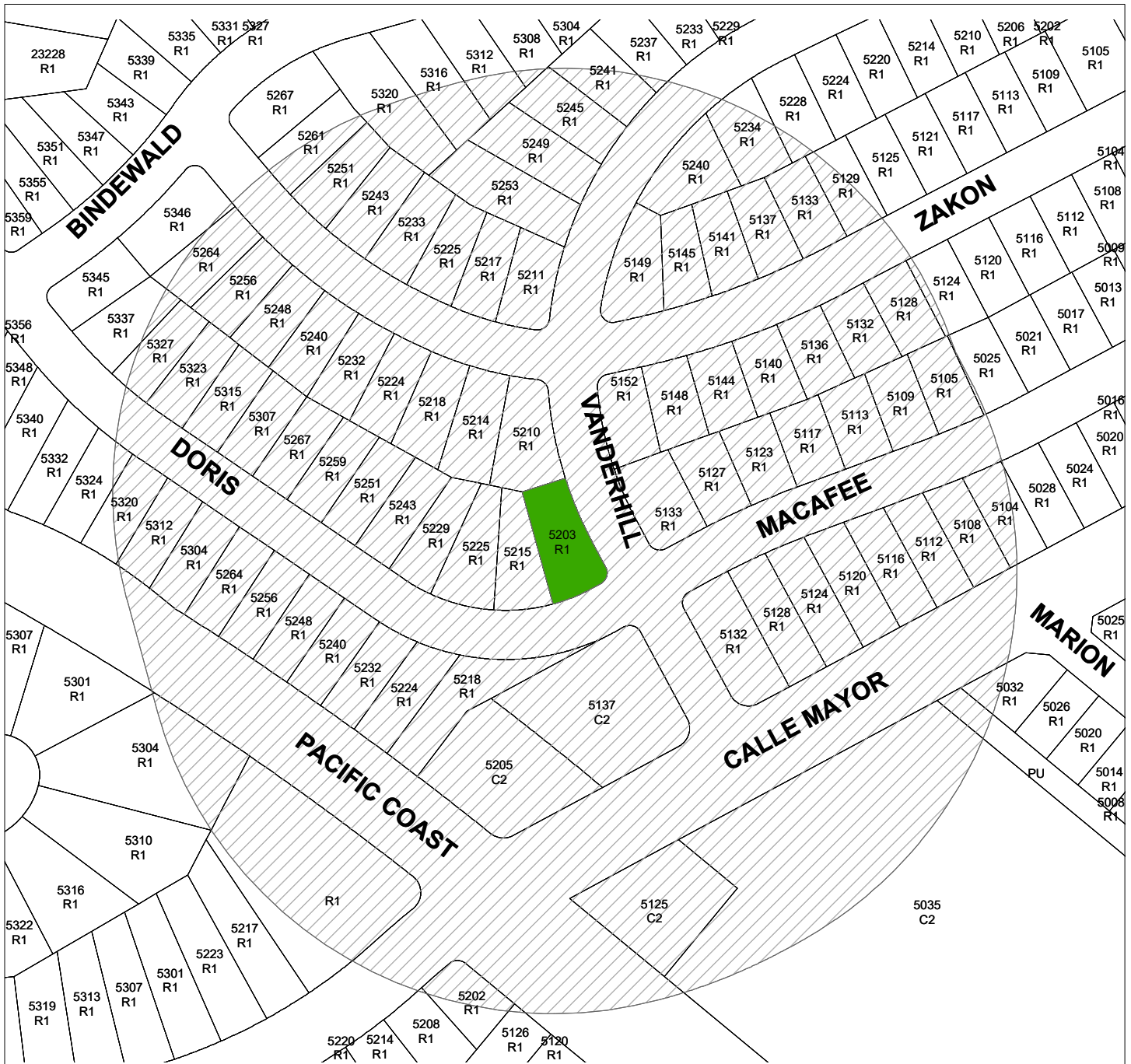
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 7A
ATTACHMENT 2
LOCATION AND ZONING LETTER



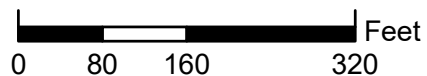
LOCATION AND ZONING MAP

WAV24-00001
5203 DORIS WAY



LEGEND

- 5203 Doris Way
- Notification



ITEM 7A
ATTACHMENT 3
WAIVER SUBSTANTIATION



City of Torrance, Community Development Department, Planning Division
3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Waiver Substantiation Form

Pursuant to Article 2, Chapter 4, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant a waiver of the following development standards: front, rear, and side yard setbacks, court requirements, building heights, and distances between buildings.

A waiver may be granted if, in the judgment of the Planning Commission or the City Council:

- a) Unreasonable difficulties will result from the strict enforcement of this Division;
- b) It will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof; and
- c) It will not substantially interfere with the orderly development of the City as provided for in this Division.

Applicants requesting a waiver must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the waiver.

- a) **There are practical difficulties or unnecessary hardships resulting from strict enforcement of the development standard based on the following circumstances:**

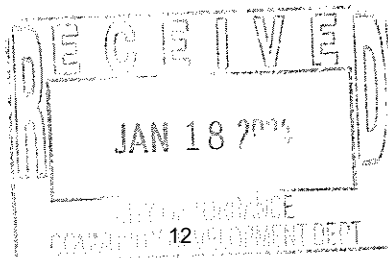
Adjacent property grade is much higher than our grade and we need a retaining wall that at it's highest point is 10'-0" and at it's lowest point it is 2 feet. The wall follows the grade of the adjacent property.

- b) **Waiver of the development standard will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof based on the following circumstances:**

Quite the opposite. It would be detrimental to the public welfare if we do not build our retaining wall. The potential of the existing wall to falter is high. Thereore creating the potential for a run off from neighbor property onto ours.

- c) **Waiver of the development standard will not substantially interfere with the orderly development of the City based on the following circumstances:**

Building our wall will create legal walkway for city use from front of property to rear of property. currently we do not have a safe walkway nor wide enough. The wall is on the interior side of the property and it is not street facing.



ITEM 7A
ATTACHMENT 4
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with all California Codes and Torrance Ordinances.
2. Obtain all necessary construction permits.

ENGINEERING

3. The Engineering Division Conditions placed on BLD23-02511 shall apply.
4. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

PUBLIC WORKS

5. Remove all vegetation, including trees, in the City easement. Plant new City approved street trees on the Doris Way side and Vanderhill Road side.

ITEM 7A
ATTACHMENT 5
PROJECT PLANS (LIMITED DISTRIBUTION)



Ser-Pas

2350 HYPERION AVE.
LOS ANGELES,
CA 90027

REVISIONS:

REVISIONS:

REVISIONS:

DANIELS RESIDENCE
5203 DORIS WAY
Torrance, CA 90505

PROJECT:

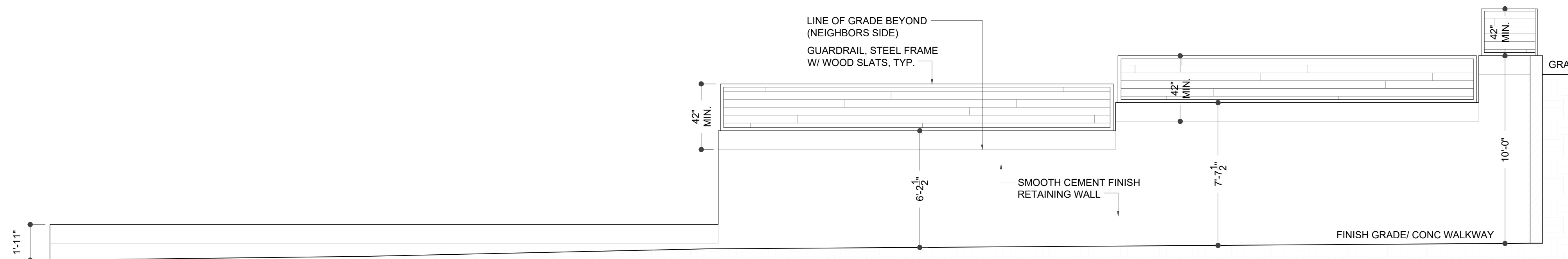
RETAINING WALL

SHEET:

DATE: 11.27.23

SCALE:

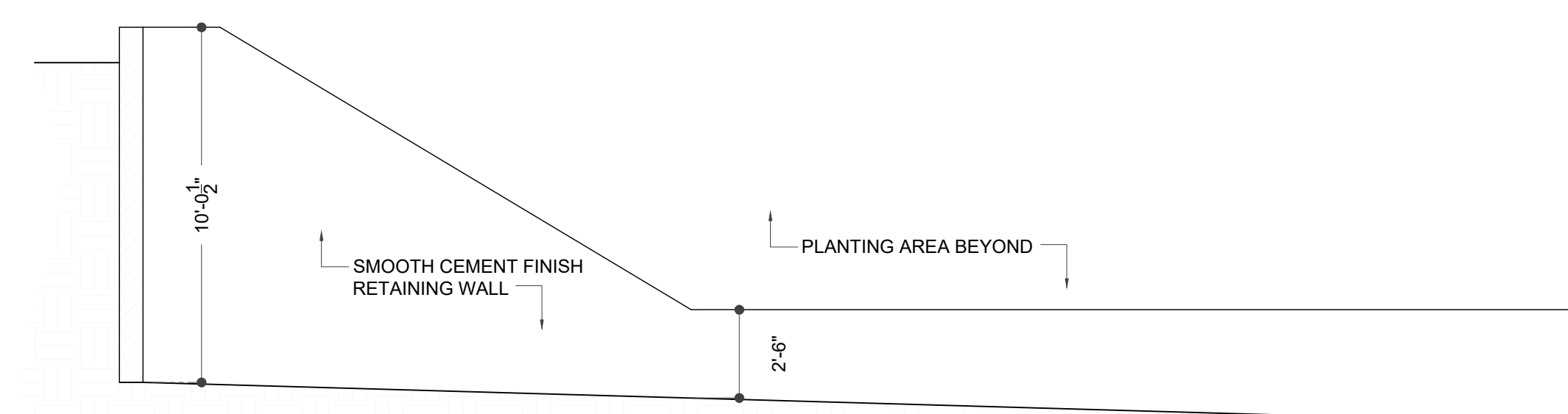
SHEET:



RETAINING WALL ELEVATION A

SCALE : 1/4" = 1'-0"

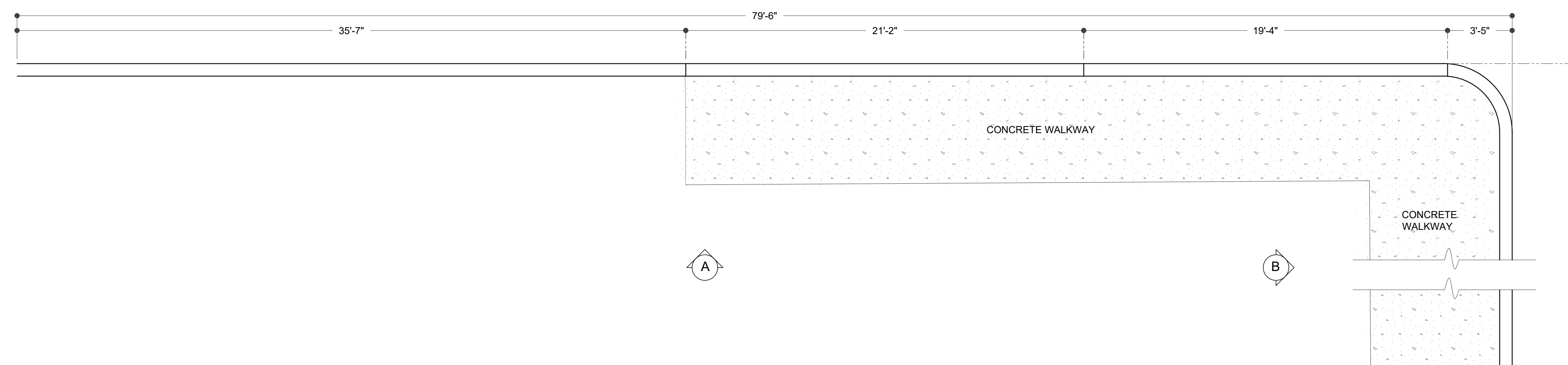
3



RETAINING WALL ELEVATION B

SCALE : 1/4" = 1'-0"

2



RETAINING WALL FLOOR PLAN

SCALE : 1/4" = 1'-0"

1

A1



Ser-Pas

2350 HYPERION AVE.
LOS ANGELES,
CA 90027

REVISIONS:
REVISIONS:
REVISIONS:

DANIELS RESIDENCE
5203 DORIS WAY
TORRANCE, CA 90505

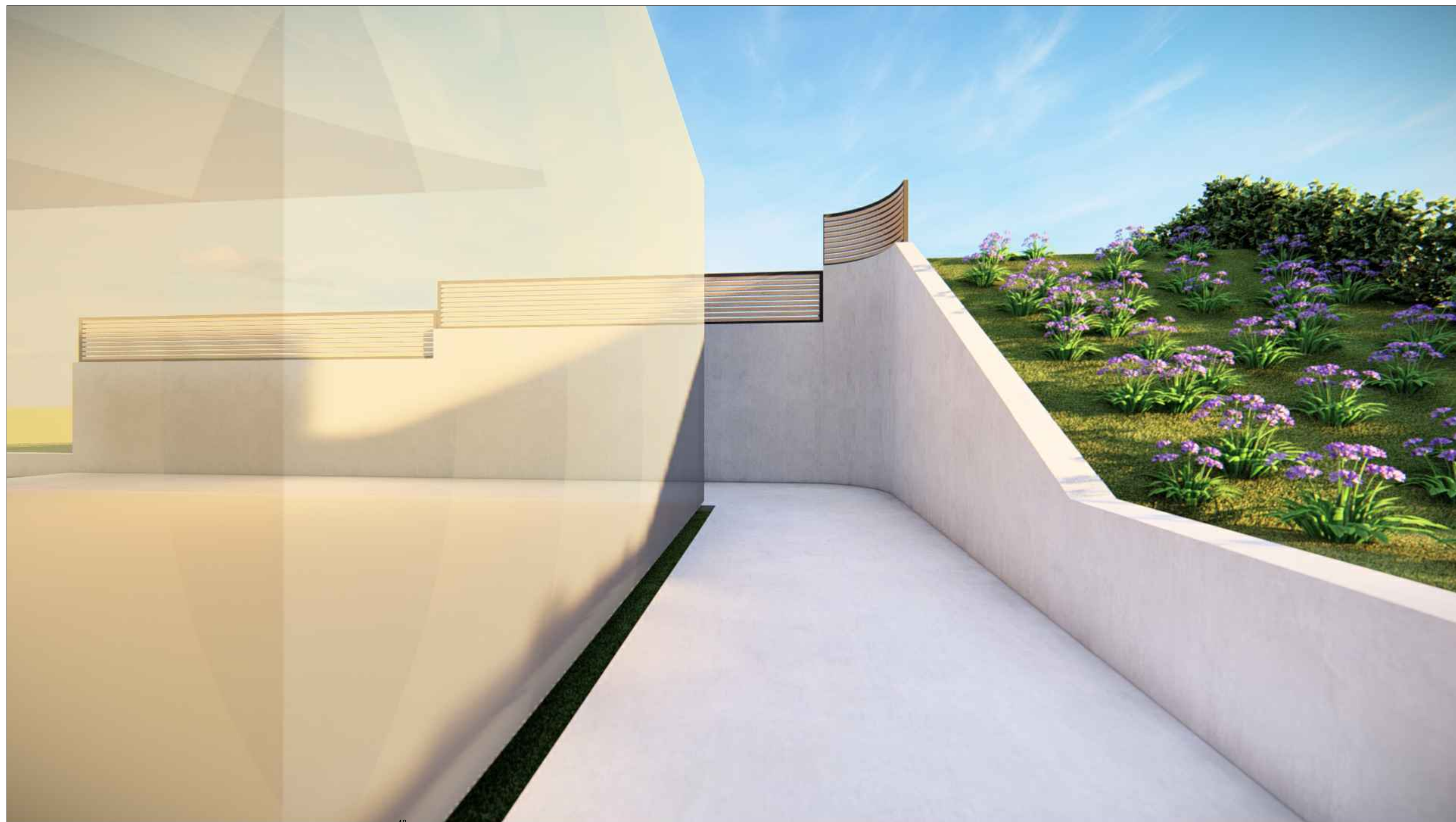
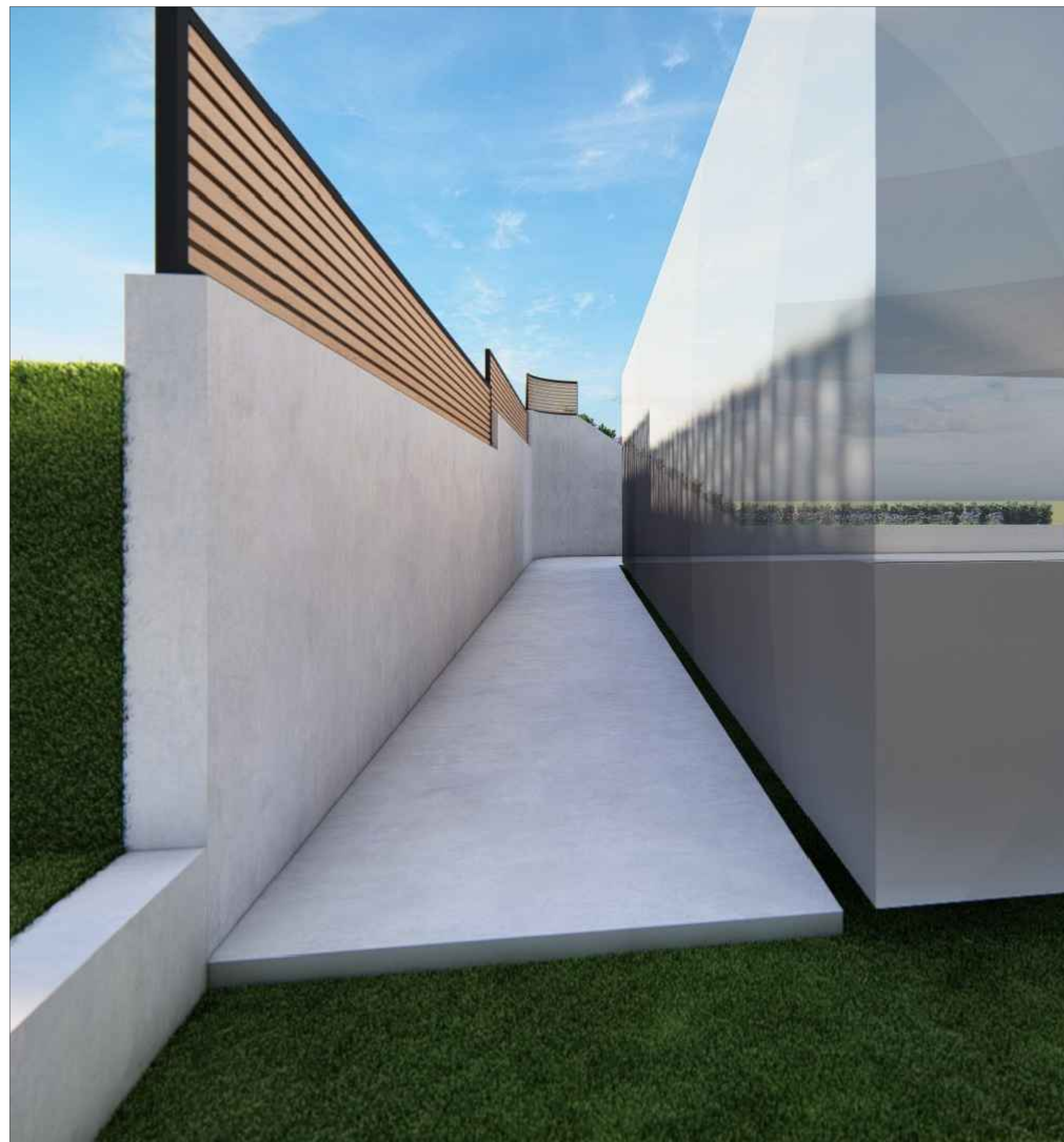
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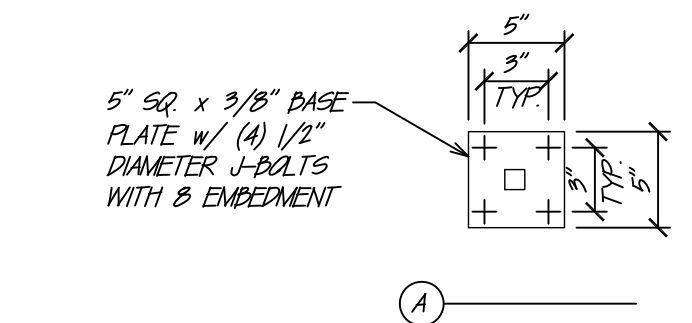
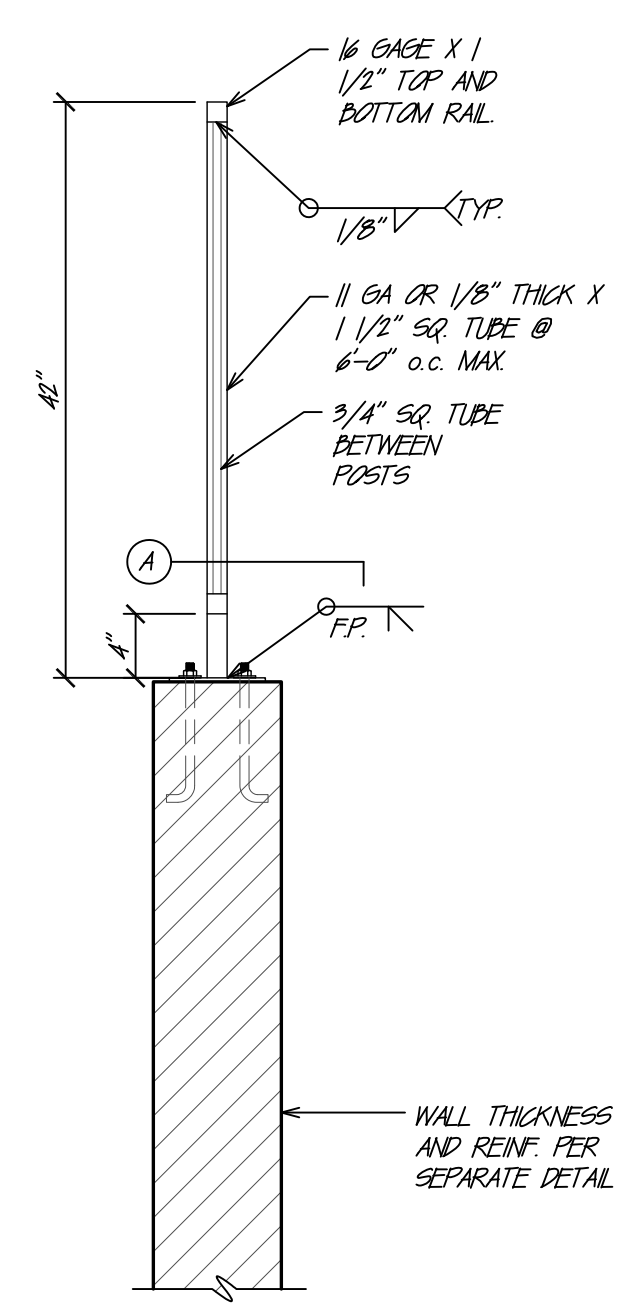
RETAINING WALL RENDERINGS

SHEET:

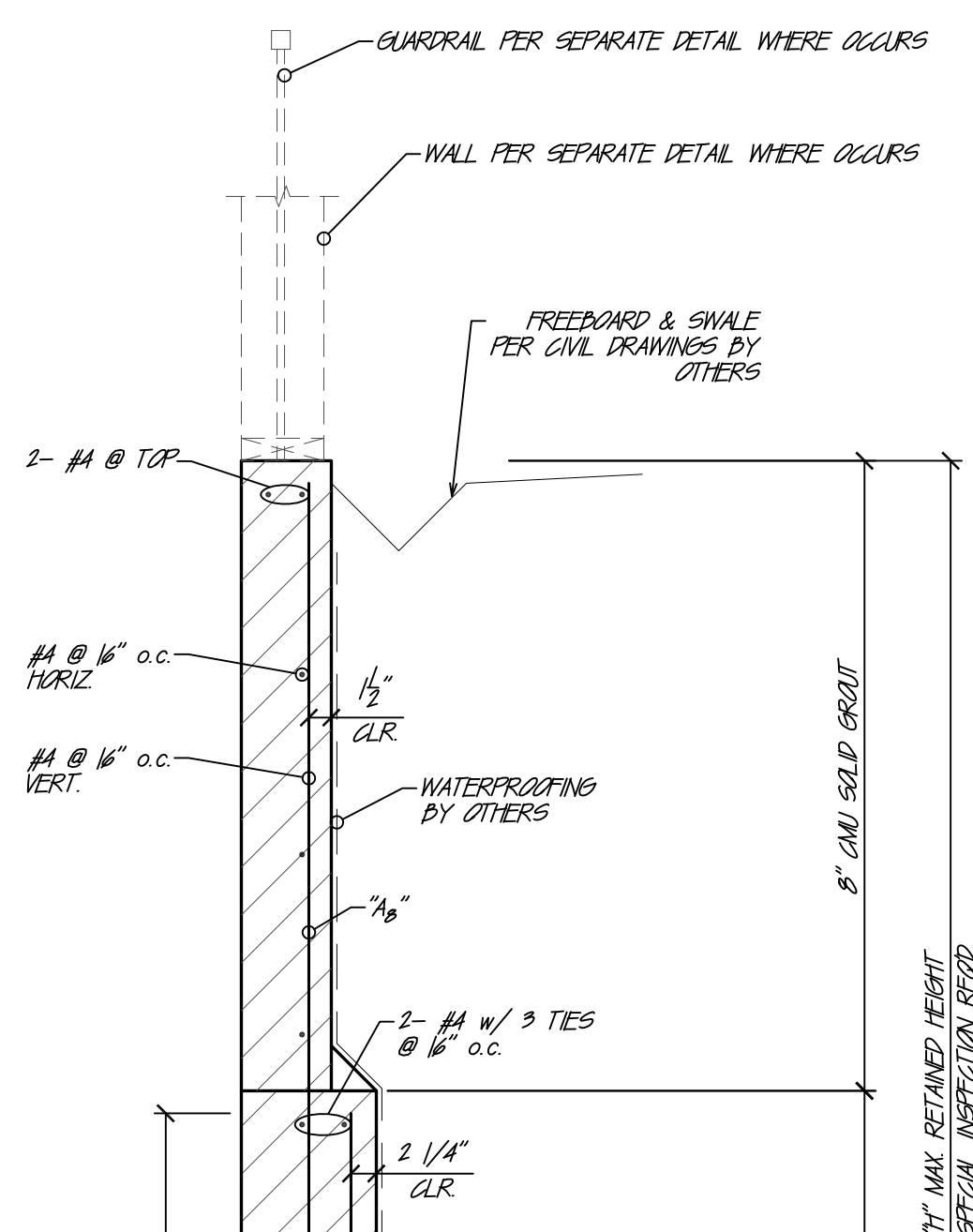
DATE: 11.27.23
SCALE:
SHEET:

A2

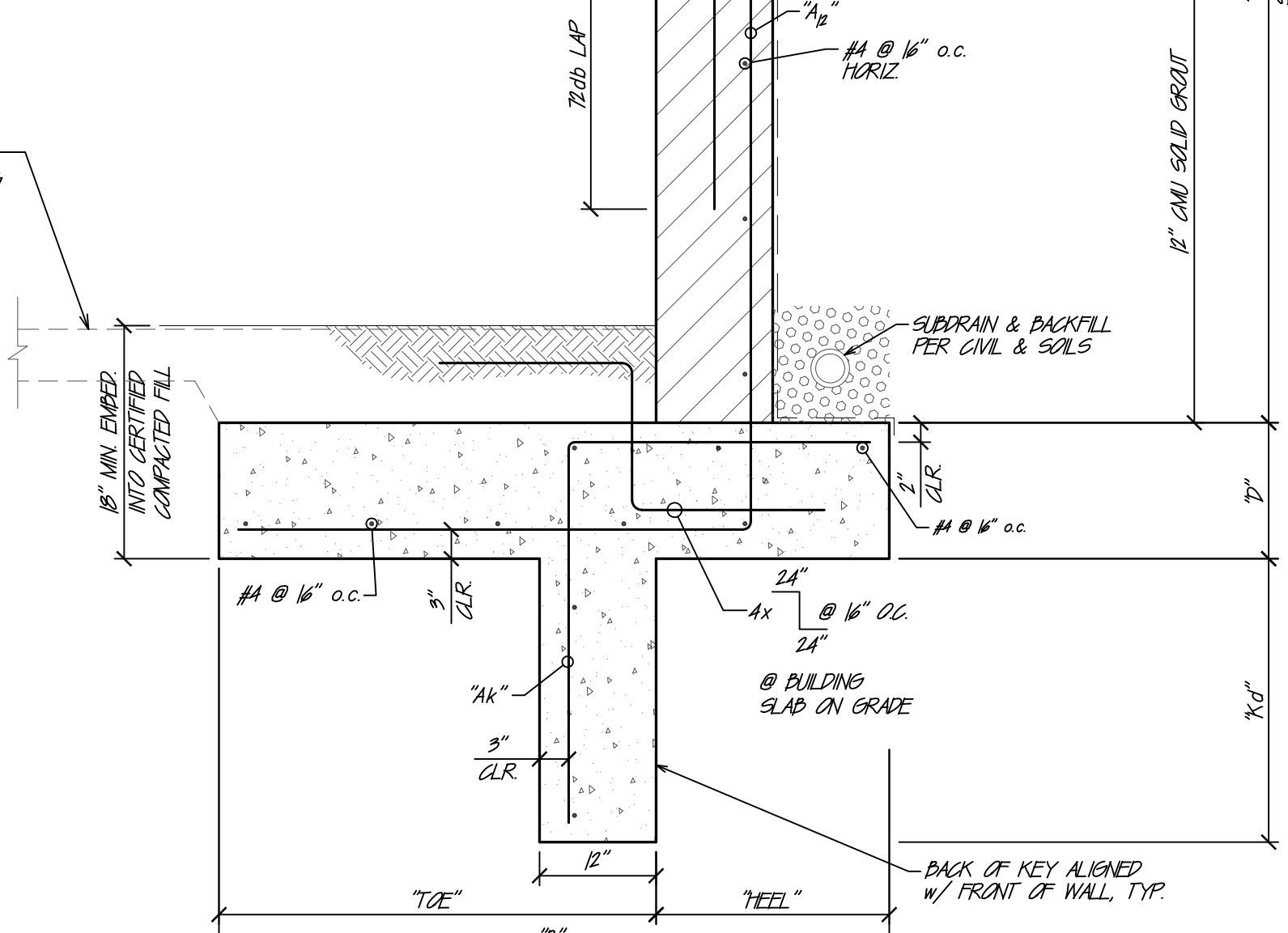




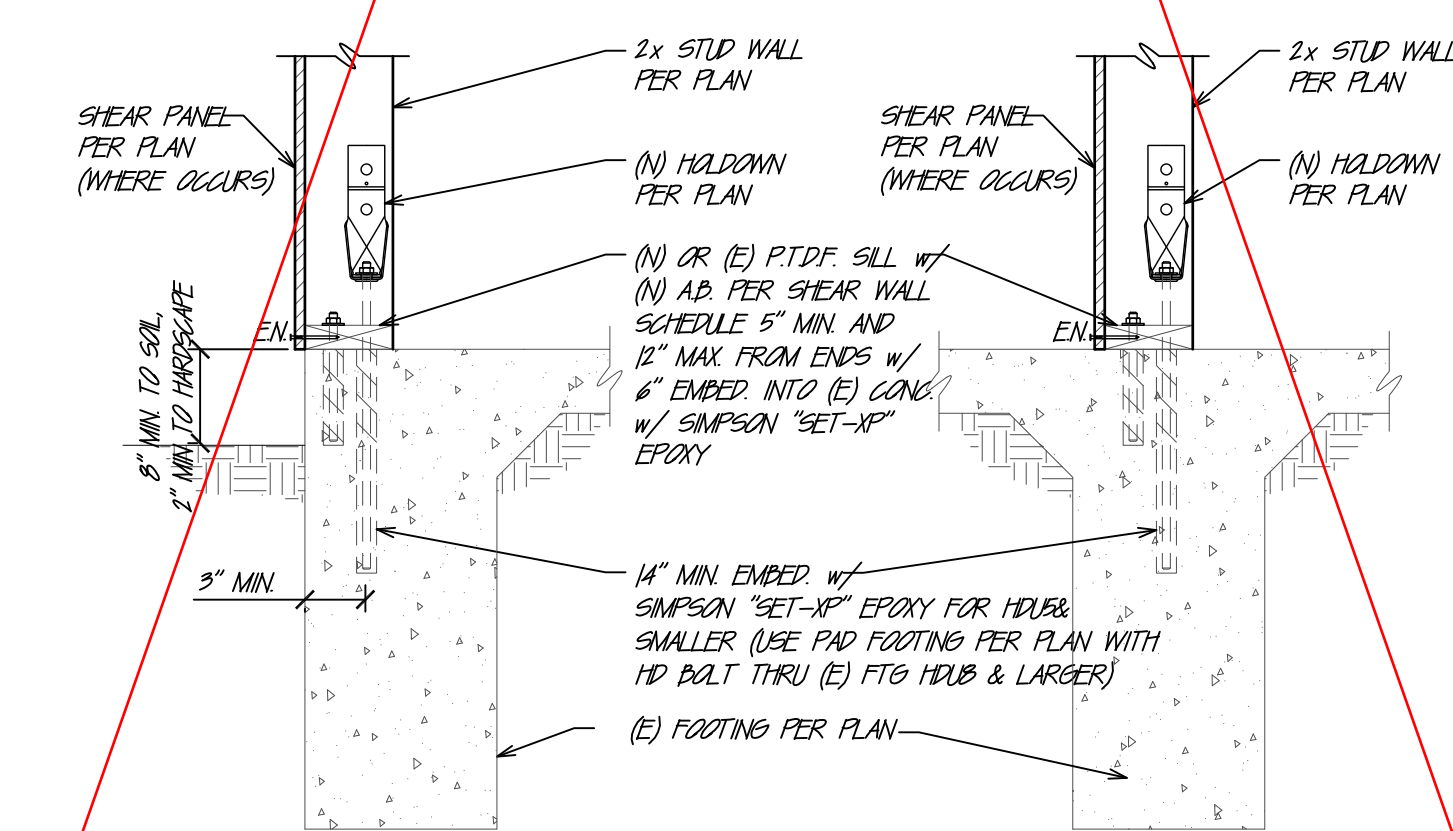
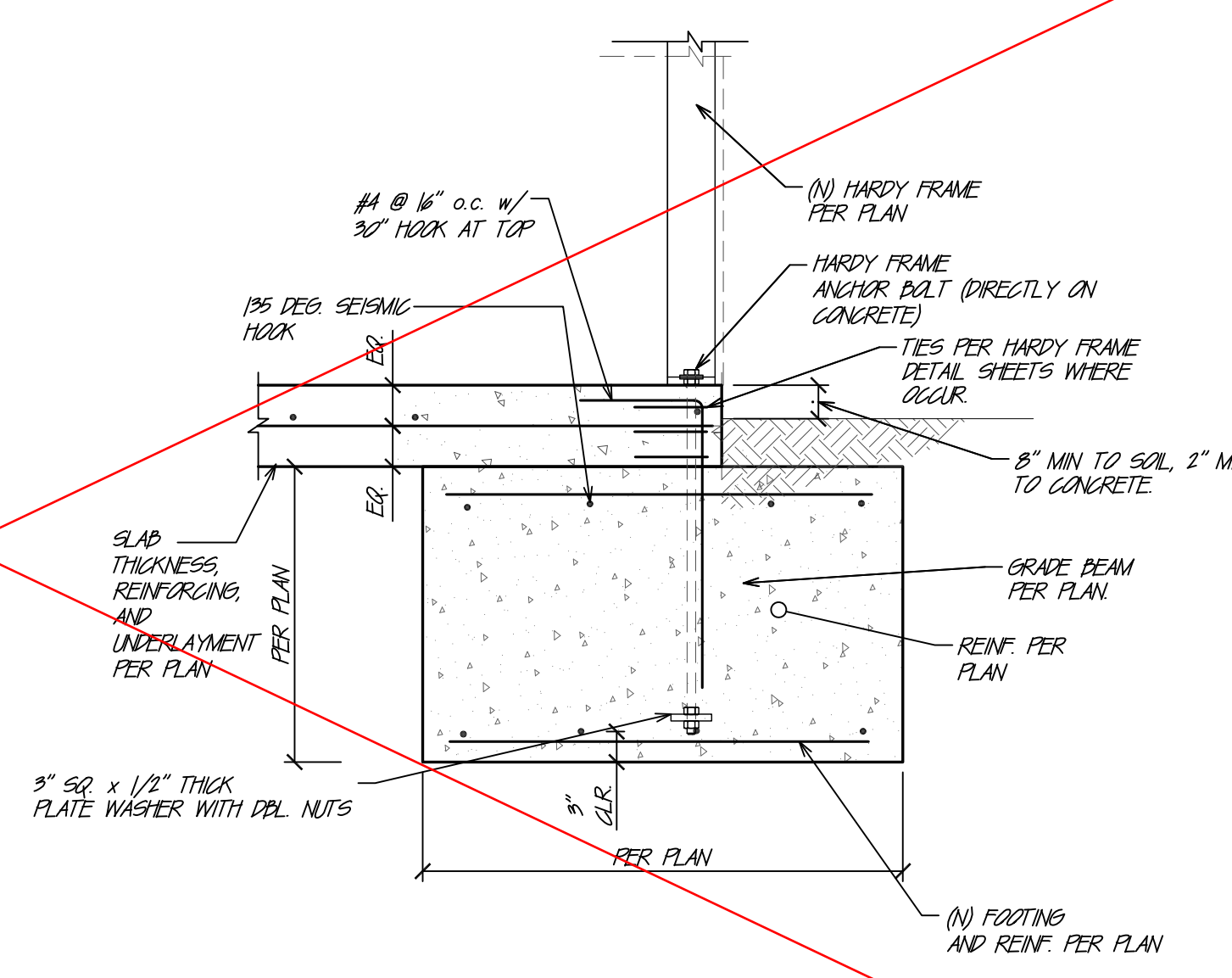
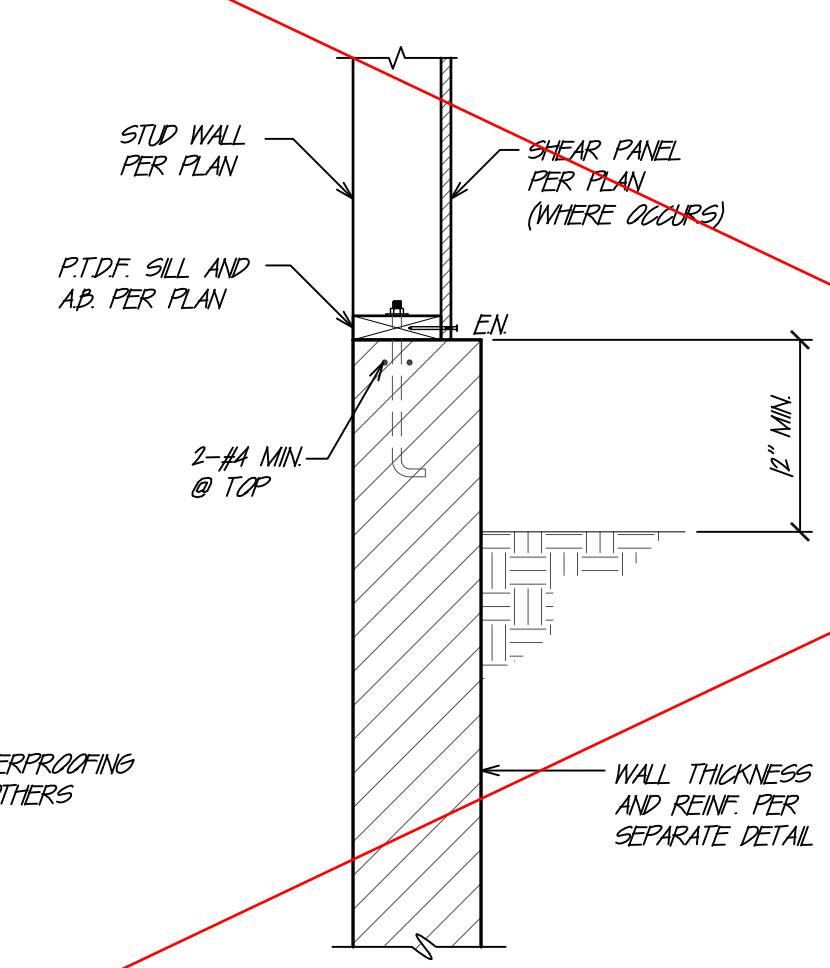
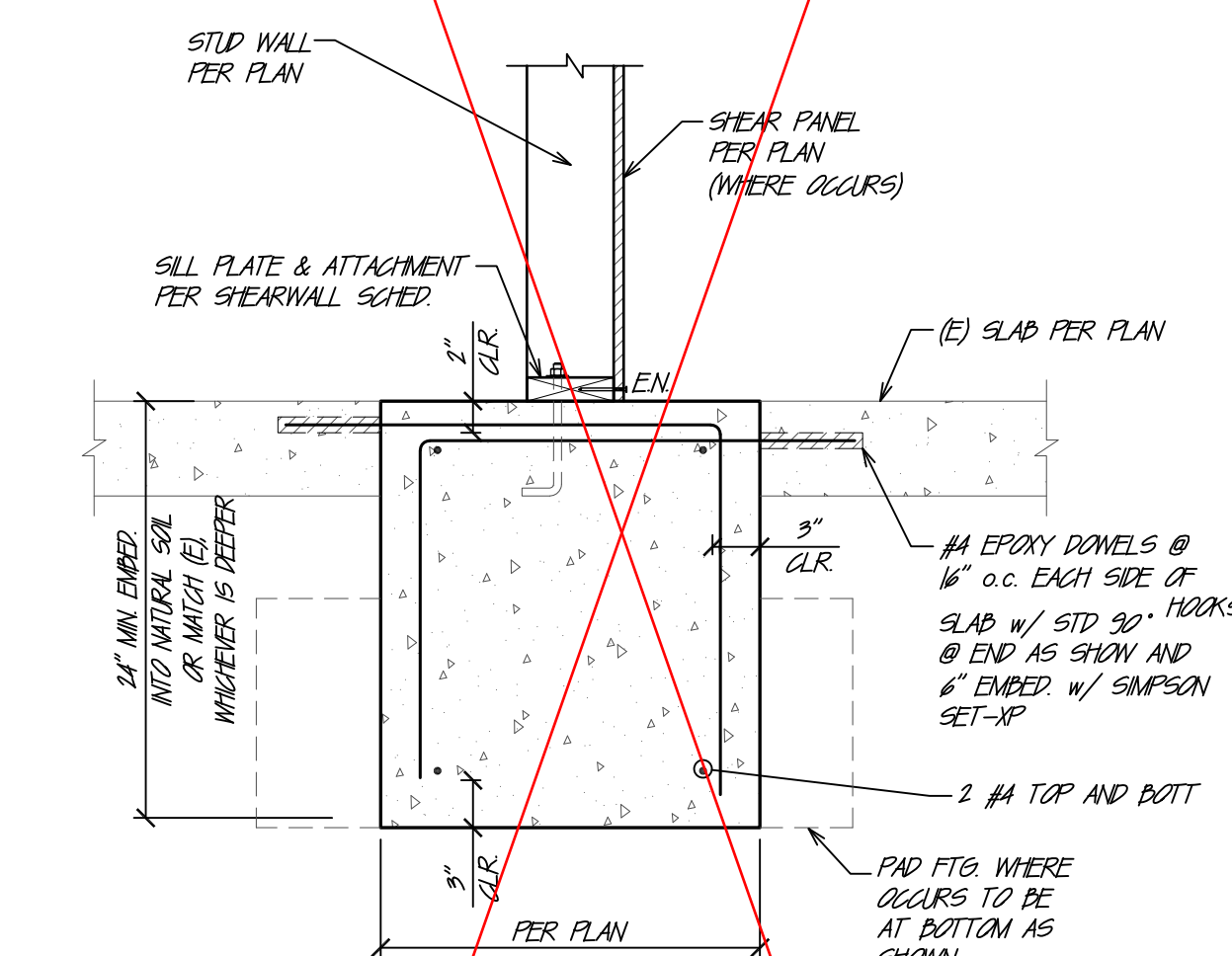
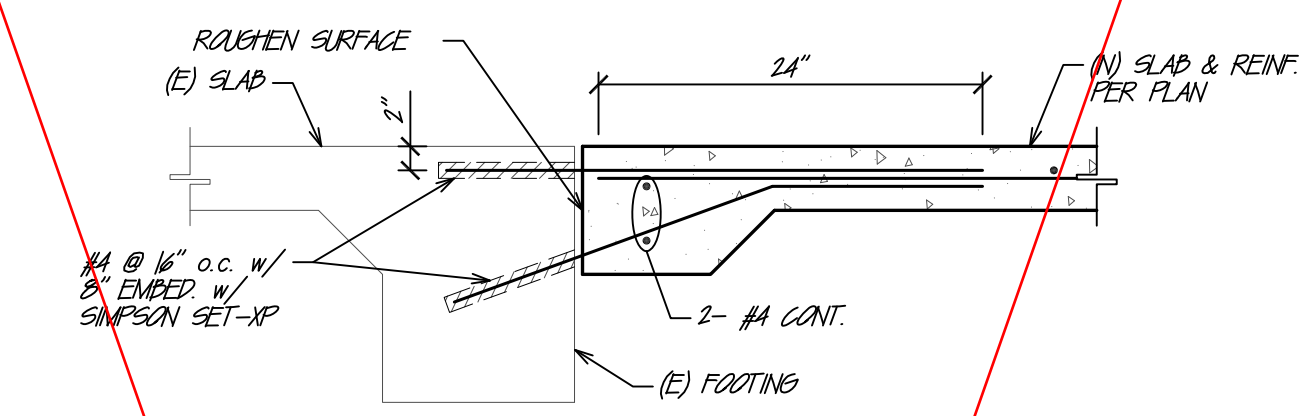
NOTE:
 1. WHERE "H₁₂" IS N/A, MAX "H₈" INTO FOOTING AS SHOWN FOR "H₁₂".
 2. WHERE ACTUAL WALL HEIGHT IS LESS THAN "H" DO NOT REDUCE "H₁₂".
 3. CMU WALL STEM MAY BE SUBSTITUTED W/ CONC. W/ 10-2500PSI W/ SAME REINFORCING AS SHOWN FOR CMU (SPECIAL INSPECTION NOT REQ'D)



SLAB ON GRADE PER PLAN (WHERE OCCURS @ BUILDING RETAINING WALL CONDITION) REINF. NOT SHOWN FOR CLARITY



H ₁	H ₁₂	H ₈	H ₁₀	H ₆	H	T ₁₂	T ₈	T ₁₀	T ₆	T ₁₀
10'-0"	4'-8"	#4 @ 8" o.c.	5'-4"	#4 @ 16" o.c.	5'-10"	4'-6"	1'-4"	1'-2"	2'-6"	#5 @ 16" o.c.
8'-0"	3'-4"	#4 @ 8" o.c.	4'-8"	#4 @ 16" o.c.	4'-6"	3'-2"	1'-4"	1'-0"	1'-7"	#4 @ 16" o.c.
5'-4"	N/A	N/A	5'-4"	#4 @ 16" o.c.	2'-8"	1'-4"	1'-4"	1'-0"	6"	#4 @ 16" o.c.



REVISIONS:

PAULS STRUCTURAL ENGINEERING
 6625 NEDDY AVE.
 WEST HILLS, CA 91307
 (818) 429-1903

REGISTERED PROFESSIONAL ENGINEER
 No. 5944
 Exp. 12-31-23
 CIVIL ENGINEERING
 STATE OF CALIFORNIA

ARCHITECTURE / DESIGN:
SER-PAS
 2550 HYPERION AVE.
 LOS ANGELES, CA 90027

PROJECT:
RESIDENTIAL ALTERATIONS
 5203 DORIS WAY
 TORRANCE, CA

DATE: 8-21-23
 SCALE: AS NOTED
 SHEET: **S-6**

JOB#:

DRAINAGE NOTE:

- A. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- B. OWNER SHALL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.
- C. A PROPERTY LINE SURVEY, PREPARED BY A CALIFORNIA LICENSED LAND SURVEYOR MAY BE REQUIRED BY THE BUILDING OFFICIAL BASED UPON SITE CONDITIONS IN ACCORDANCE WITH LACBC SECTION 108.1.
- D. NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF OAK TREE WITHOUT AN OAK TREE REPORT AND PERMIT.
- E. SURROUND THE CONSTRUCTION AREA WITH SILT FENCE, GRAVEL BAGS OR FIBER ROLLS DURING RAINY SEASON BETWEEN OCT 15TH AND APRIL 15TH.
- F. FINISH FLOOR SHALL BE A MINIMUM OF 8 INCHES ABOVE FINISH GRADE IMMEDIATELY OUTSIDE THE BUILDING.
- G. PROVIDE A MINIMUM GRADE FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (5% SLOPE) FROM FOUNDATION WALL.

CONSTRUCTION NOTES

- 1- STRUCTURAL FOUNDATION PER STRUCTURAL PLANS AND GEOTECHNICAL REPORT.
- 2- FOUNDATION EMBEDMENT PER SOILS REPORT RECOMMENDATIONS
- 3- CONSTRUCT SDR 35 PVC PIPE (SIZE AS SHOWN) AT 1% MINIMUM SLOPE (UNO) (MIN. PIPE SIZE 4"ø.)
- 4- CONSTRUCT STAIRS ON GRADE PER 4/C5.0
- 5- EXISTING TO REMAIN
- 6- EXISTING TO BE REMOVED
- 7- CONSTRUCT 4" THK. SLAB ON GRADE WITH #4 REBARS AT 16" O.C. BOTH WAYS PER SOILS REPORT RECOMMENDATION
- 8- CONSTRUCT DRIVEWAY APRON PER 8/C5.0 & CITY OF TORRANCE STANDARD PLAN
- 9- CONSTRUCT GARDEN WALL PER 7/C5.0
- 10- PROVIDE WEEP HOLE EVERY 8 FEET PER 3/C5.0

LEGEND

ARCH.	ARCHITECTURAL	(N)	NATURAL GRADE
BOE	BUREAU OF ENGINEERING	NG	NATURAL GRADE
C	CENTER LINE	R/W	RIGHT OF WAY
CO	CLEANOUT	S.B.	SETBACK
DG	DECOMPOSED GRANITE	S-O-G	SLAB ON GRADE
DL	DAYLIGHT LINE	S.Y.	SIDE YARD
DN	DOWN	TC	TOP OF CURB
DS	DOWNSPOUT	TD	TOP OF DECK
FF	FINISH FLOOR	TG	TOP OF GRATE
FG	FINISH GRADE	TR	TOP OF RAIL
FL	FLOW LINE	TW	TOP OF WALL
FP	FIRE PLACE	TYP	TYPICAL
FS	FINISH SURFACE	UNO	UNLESS NOTED OTHERWISE
F.Y.	FRONT YARD		
HP	HIGH POINT		
INV	INVERT		
OF	OVERFLOW		
PA	PLANTER AREA		
PL	PROPERTY LINE		
P	PER SEPARATE PLAN & PERMIT		

- SITE RETAINING WALL
- STEM/BUILDING WALL
- GARDEN/SLOUGH WALL (LESS THAN 4 FEET)
- PRIVACY WALL
- FS — CONTRACTOR TO VERIFY HARD SURFACE THICKNESS PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE ROUGH GRADE ELEVATIONS.
- 1" SQ. CATCH BASIN PER NDS PLASTIC PRODUCTS PART NO. 1200-1204, U.N.O.
- 6"ø SDR 35 PVC PER NDS PLASTIC PRODUCTS PART NO. 101, 201, 300, U.N.O.
- INDICATES 4"ø PERF. SUBDRAIN
- SDR 35 PVC PIPE
- TEMPORARY EXCAVATION LINE
- X — TREE PROTECTION FENCE
- TREE DRIP LINE. SEE ARBORIST PLAN FOR EXACT LOCATION
- EASEMENT


- RAISED DECK
- PERMEABLE PAVERS
- PLANTER AREA
- CONCRETE HARDSCAPE
- BUILDING PAD

UNDERGROUND SERVICE ALERT



CALL TOLL FREE
1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

SCALE: AS NOTED



SCALE: 1"=8'-0"

IPHA VISION
Design Build Inc.
5111 19th St. #201
Irvine, CA 92614
Tel: (949) 251-0901
info@iphavision.com
www.iphavision.com




REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
CIVIL
CONSTRUCTION

REVISION	DATE

PROJECT NO. 23-008
DATE 8/18/2023
DRAWN EM
DESIGNED FA
CHECKED YA

CHRISTINE DANIELS
5203 Doris Way
Torrance, CA 90505



GRADING & DRAINAGE PLAN



SCALE: AS NOTED

1"=8'-0"

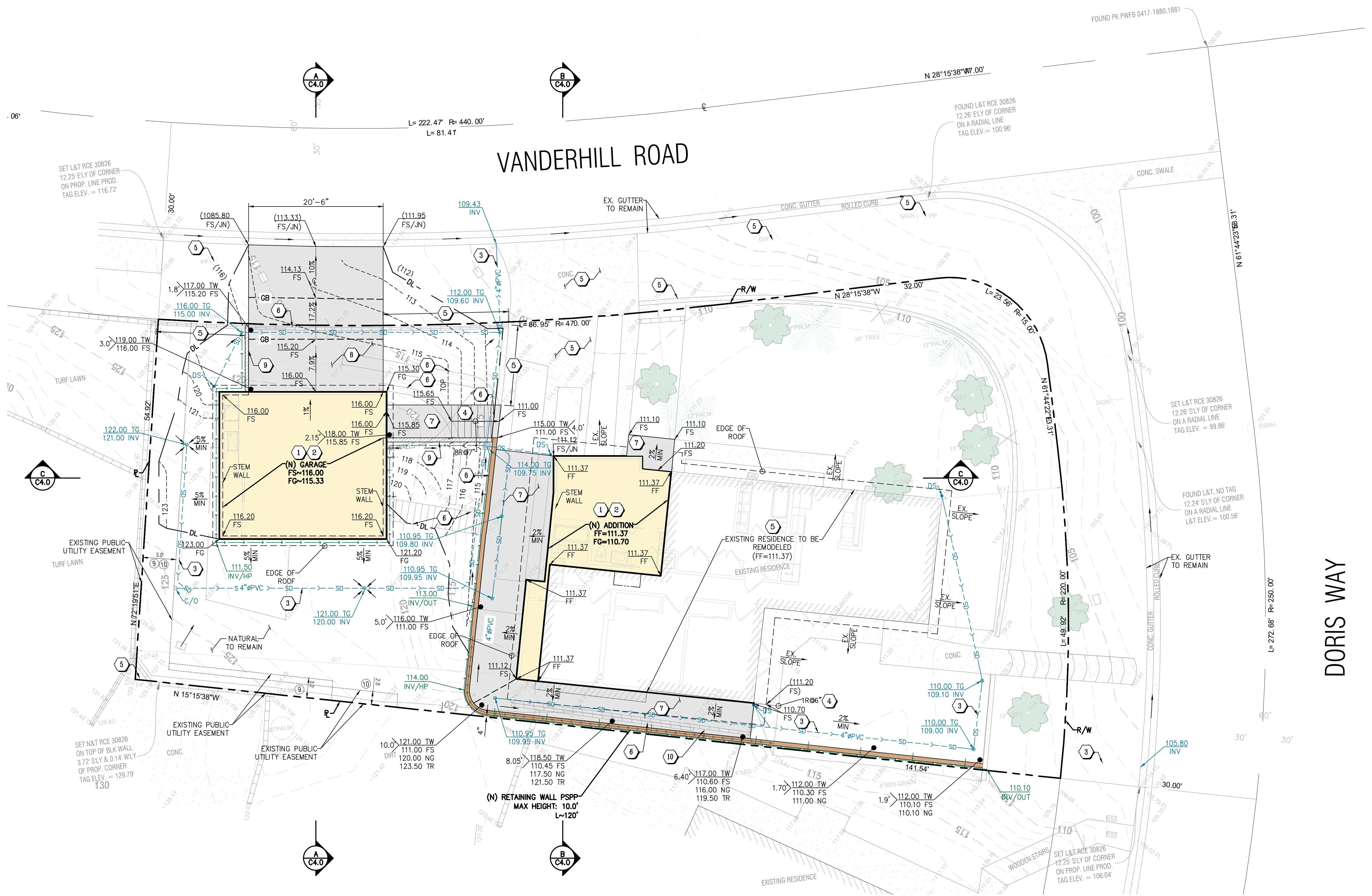
C3.0
3 OF 6

VANDERHILL ROAD

DORIS WAY

GRADING & DRAINAGE PLAN

1"=8'-0"



SURVEY AND TOPOGRAPHY

FOR
CHRISTINE DANIELS & MICHAEL PETERS
5203 DORIS WAY
TORRANCE, CA 90505
PHONE 310-663-3366

JOB ADDRESS

5203 DORIS WAY
TORRANCE, CA 90505

LEGAL DESCRIPTION

LOT 1, BLOCK 4
TRACT NO. 15397
M.B. 332-16-19
APN 7530-007-001

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENT OF PROFESSIONAL LAND SURVEYORS ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY TS

DRAWN ON NOVEMBER 18, 2020

REVISIONS

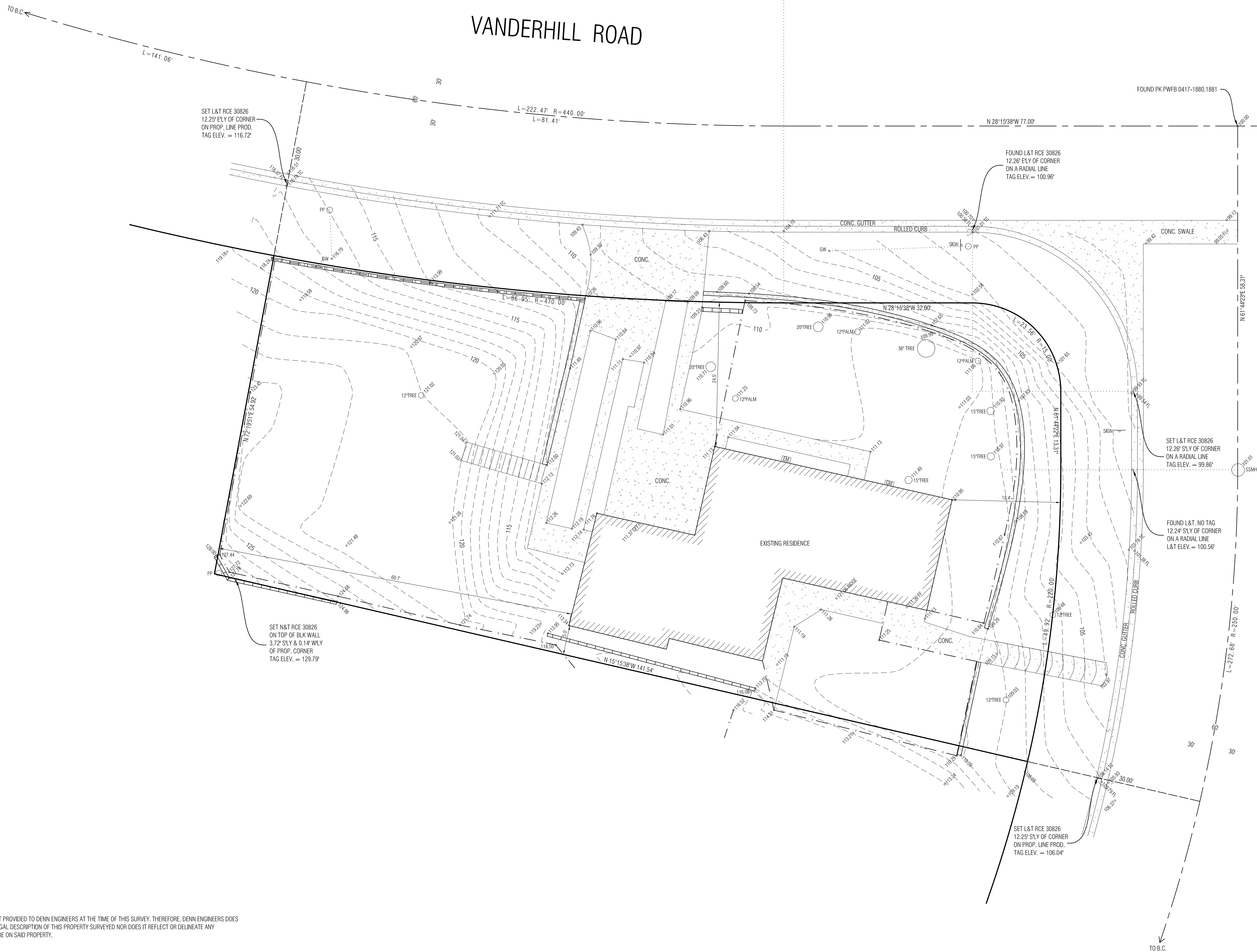
LEGEND

- EXISTING BUILDING
- BRICK
- CONCRETE
- WOOD DECK
- 106.76 EXISTING ELEVATION
- 100 EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- B.C.R. BEGINNING OF CURB RETURN
- C.L.F. CENTERLINE
- E.L.V. EASTERLY
- E.M. ELECTRIC METER
- F.D. FOUND
- F.F. FINISH FLOOR
- F.H. FIRE HYDRANT
- F.L. FLOW LINE
- G.F.F. GARAGE FINISH FLOOR
- G.M. GAS METER
- G.W. GUY WIRE
- L&T. LEAD AND TAG
- M.H. MANHOLE
- N.E.L.Y. NORTHERLY
- P.C. PROPERTY CORNER / PROP. CORNER
- P.L. / P.L. PROPERTY LINE / PROP. LINE
- P.P. POWER POLE
- P.P.T. PIPERET
- S&W. SPIKE AND WASHER
- S.L.Y. SOUTHERLY
- S.P.K. SPIKE
- S.S.C.D. SANITARY SEWER CLEAN OUT
- S.S.M.H. SANITARY SEWER MANHOLE
- S.T.K. STAKE / STAKE & TAG
- S.T.L.Y. STREET LIGHT
- T.C. TOP OF CURB
- T.W. TOP OF WALL / T.O.W.
- T.X. TOP OF DRIVEWAY APRON
- W.E.Y. WESTERLY
- W.M. WATER METER

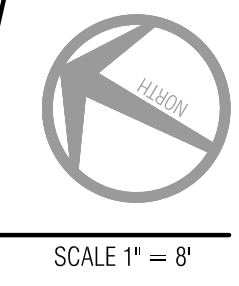
NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

COPYRIGHT
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE AT THE RISK OF DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.



NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.



SCALE 1" = 8'

AGENDA ITEM NO. 8A

DATE: August 7, 2024

TO: Planning Commission

FROM: Austin Lujan, Management Aide
Leo Oorts, Planning Manager

SUBJECT: 4860 190th Street (APN 7521-001-024)
Conditional Use Permit (CUP24-00002)

Request for approval of a Conditional Use Permit to allow the operation of a restaurant on property located in the C-2 zone at 4860 190th Street (APN 7521-001-024).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution Nos. 24-042 for approval a Conditional Use Permit to allow the operation of a restaurant on property located in the C-2 Zone at 4860 190th Street (APN 7521-001-024), and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Sections 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Mandy Huang (Yin Qing He), requests approval by the Planning Commission to allow the operation of a restaurant on property located in the C-2 Zone at 4860 190th Street (APN 7521-001-024).

The development standards of the C-2 Zone (General Commercial District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Conditional Use Permit to allow the operation of a restaurant in the C-2 Zone.

Staff has thoroughly reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation and complies with the objective development standards of the Torrance Municipal Code and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Licensing of an existing private structure involving negligible or no expansion of use beyond that previously existing is Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The project site has a General Plan land use designation of General Commercial (C-GEN) which allows a maximum floor area ratio of 0.6. The General Commercial designation is intended to permit a wide range of commercial uses which serve both community and regional needs. Regional shopping centers, professional and medical office projects, corridor commercial districts, food and beverage establishments, entertainment facilities, financial institutions, and automotive sales and repair operations are all permitted or conditionally permitted uses in the General Commercial areas.

Zoning Designation and Adjacent Land Uses

The project site is designated as C-2 Zone (General Commercial Districts) and bounded by four parcels. The parcels to the east and west share the same zoning designation of C-2 (General Commercial District). To the north is the City of Redondo Beach. South of the parcel is designated as A-1 (Light Agricultural District).

NORTH:		City of Redondo Beach
SOUTH:	A-1	Commercial Center
EAST:	R-1	One and Two-Story Single-Family Residences
WEST:	C-2	General Commercial District

Project Site

The subject site is located near the southeast corner of 190th Street and Anza Avenue, in the North Torrance Plaza. The shopping center was built in 1959. The tenant space located at 4860 190th Street is situated midpoint of the shopping center and was originally occupied by a donut shop. In 1993 the Planning Commission approved a Conditional Use Permit (CUP93-00003) to a major remodel of the shopping center that included restriping the parking lot, eliminating a 13,968 square foot mezzanine storage area, and adding a 6,000 square foot building pad at the northwest corner of the site. In 1999, the Planning Commission approved a Conditional Use Permit (CUP99-00002) and a Modification (MOD99-00002) to allow the operation of a new café restaurant within the existing shopping center in a portion of a building that was previously approved for retail use. In 2014, the Community Development Director approved an administrative permit (MIS13-00307) to allow a 1,627 square foot expansion to the café restaurant building pad.

Floor Plan

The existing tenant space measures approximately 1,500 square feet in total floor area. The proposed floor plan features a dining area, service and kitchen area, a walk-in cooler and freezer, a restroom, and an existing trash enclosure located towards the rear of the building. No outdoor seating is proposed. Existing non-bearing walls located within the tenant space will be removed.

Business Operation

The new restaurant’s operating hours will be 10:00am to 8:30pm daily. The restaurant will employ four full-time kitchen staff and three full-time servers. The menu theme includes Chinese food and nonalcoholic drinks with no future plan to apply for an alcohol license.

Staff notes the proposed restaurant is situated midpoint of the shopping center and will not serve alcoholic beverages. In addition, there are no residential uses, churches, schools, hospitals, or public playgrounds located nearby. Therefore, staff does not recommend any limitations on the proposed restaurant operating hours.

Parking

Per Torrance Municipal Code Section 93.2.11, restaurants require 1 parking space per 100 square feet. The proposed restaurant requires 15 parking spaces. Based on the current tenant roster for the shopping center, a total of 560 parking spaces are required across the site, with 564 spaces provided. Therefore, sufficient parking is provided onsite and no additional parking is required.

CONCLUSION

In the judgment of staff, the proposed restaurant, as conditioned, is compatible with the surrounding uses. The project provides additional services to an existing longstanding shopping center and sufficient parking is available. Therefore, staff recommends approval of the subject request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al. that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 25, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-042
2. Location and Zoning Map
3. Code Requirements
4. Project Plans (Limited Distribution)

STAFF CONTACT

Austin Lujan, Management Aide
ALujan@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 8A
ATTACHMENT 1
RESOLUTION NO. 24 - 042

PLANNING COMMISSION RESOLUTION NO. 24-042

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 3 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE OPERATION OF A RESTAURANT, ON PROPERTY LOCATED IN THE C-2 ZONE AT 4860 190TH STREET (APN 7521-001-024).

CUP24-00002: MANDY HUANG (YIN QING HE)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on August 7, 2024, to consider an application for a Conditional Use Permit filed by Mandy Huang (Yin Qing He) to allow the operation of a restaurant on property located in the C-2 Zone at 4860 190th Street; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 3 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

That the property is located at 4860 190th Street (APN 7521-001-024);

- a) That the property is described as Lot 1 of Tract 7521 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- b) That licensing of an existing private structure involving negligible or no expansion of use beyond that previously existing is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities); and
- c) That the proposed restaurant is conditionally permitted within the General Commercial District (C-2 Zone) and complies with the provisions of the Torrance Municipal Code;
- d) That the proposed restaurant use, as conditioned, will not impair the integrity and character of the General Commercial District (C-2 Zone) because restaurants are conditionally permitted and the proposed use is consistent with the center and surrounding commercial uses in the zone and area, and sufficient parking is available;
- e) That the subject site is physically suitable for the proposed restaurant, as conditioned, because the tenant space is situated within a commercial center and already served by all necessary utilities and public services, and no net increase in parking is required;
- f) That the proposed restaurant use, as conditioned, will be compatible with existing and proposed future land uses within the General Commercial District (C-2 Zone) and the general area in which the restaurant is located because the site is surrounded by urban uses that consists of a mixture of retail and restaurant uses. In addition, there are no residential uses, churches, schools, hospitals, or public playgrounds located near to the restaurant tenant space;
- g) That the proposed restaurant use, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the proposed use is located within the General Commercial land use designation, which is intended to permit a wide range of commercial uses that serve both the local and regional community including commercial centers and restaurant uses;
- h) That the proposed restaurant use, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the proposed use

- further the goals of the General Plan, complies with all applicable development standards, and is compatible with current development trends in the surrounding vicinity;
- i) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure the proposed restaurant use, as conditioned, is not detrimental to public health and safety;
 - j) That there will be adequate provisions for public access to serve the proposed restaurant use, as conditioned, because the restaurant tenant space is centrally located within the commercial center and is accessed from onsite parking and internal circulation;
 - k) That the location, size, design, and operating characteristics of the proposed restaurant use, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the proposed use has been thoroughly reviewed and found to be in compliance with the development standards of the C-2 Zone and is consistent with the General Commercial land use designation. In addition, there are no residential uses, churches, schools, hospitals, or public playgrounds located near to the restaurant tenant space;
 - l) The proposed restaurant use, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust, or vibration;
 - Hazard from explosion, contamination, or fire;
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and

WHEREAS, the Planning Commission by the following roll call votes APPROVED CUP24-00002, subject to conditions:

AYES: COMMISSIONER:
 NOES: COMMISSIONER:
 ABSENT: COMMISSIONER:
 ABSTAIN: COMMISSIONER:

NOW, THEREFORE, BE IT RESOLVED that CUP24-00002 filed by Mandy Huang (Yin Qing He) to allow the operation of a new restaurant on property located in the C-2 Zone at 4860 190th Street, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That use of the subject property shall be subject to all conditions imposed in Conditional Use Permit 24-00002 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established for constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if Conditional Use Permit 24-00002 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of Planning Commission Resolution No. 24-042 shall appear on the building plans associated with the restaurant building tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake to the satisfaction of the Community Development Director; (Planning)

5. That the trash enclosure located at the rear of the tenant space shall be equipped with metal barrier roof covering to prevent rainwater intrusion to meet current NPDES requirements; (Environmental)
6. That the restaurant operator shall obtain approval of a restaurant (food facility) permit through the County of Los Angeles Public Health prior to commencing operations; (Planning)
7. That the restaurant operator shall obtain approval of a business license through the City of Torrance Finance Department prior to commencing operations; (Planning)
8. That no vending machines, publication racks, telephones, kiosks, donation bins and similar items shall be permitted outside of the building; (Planning)
9. That no exterior security bars and roll-up doors applied to windows and building entrances shall be permitted outside of the building; (Planning)
10. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake (provided there is no appeal) to Planning; (Planning)
11. That the business name and address shall be visible from the street; (Police)
12. That the hours of operation shall be visible on the business storefront; (Police)
13. That all persons associated with the restaurant operation shall be required to park onsite, including customers, clients, employees, deliveries, etc.; (Planning)
14. That the applicant shall obtain a sign permit for any new areas of signage to be displayed on the façade, the outward walls, on the ground, and that all signs (new, modified or revised) shall conform to the approved sign program and be approved by the Environmental Division with appeal rights to the Planning Commission; (Environmental)
15. That prohibited signs for all users in this development shall include: A-frame or sidewalk signs; bow or flag banners; air assisted and inflatable signs; signs attached to light, utility poles, trees, or vehicles; persons holding signs; and temporary signage mounted on the roof of the building; (Environmental)
16. That address numbers shall be installed on the building and measure at a minimum 9" in height and be a color that contrasts with the color of the façade; (Environmental)
17. That bicycle racks shall be provided onsite and that a placement plan and bicycle rack detail shall be provided to the satisfaction of the Environmental Division; (Environmental)
18. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 7th day of August 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

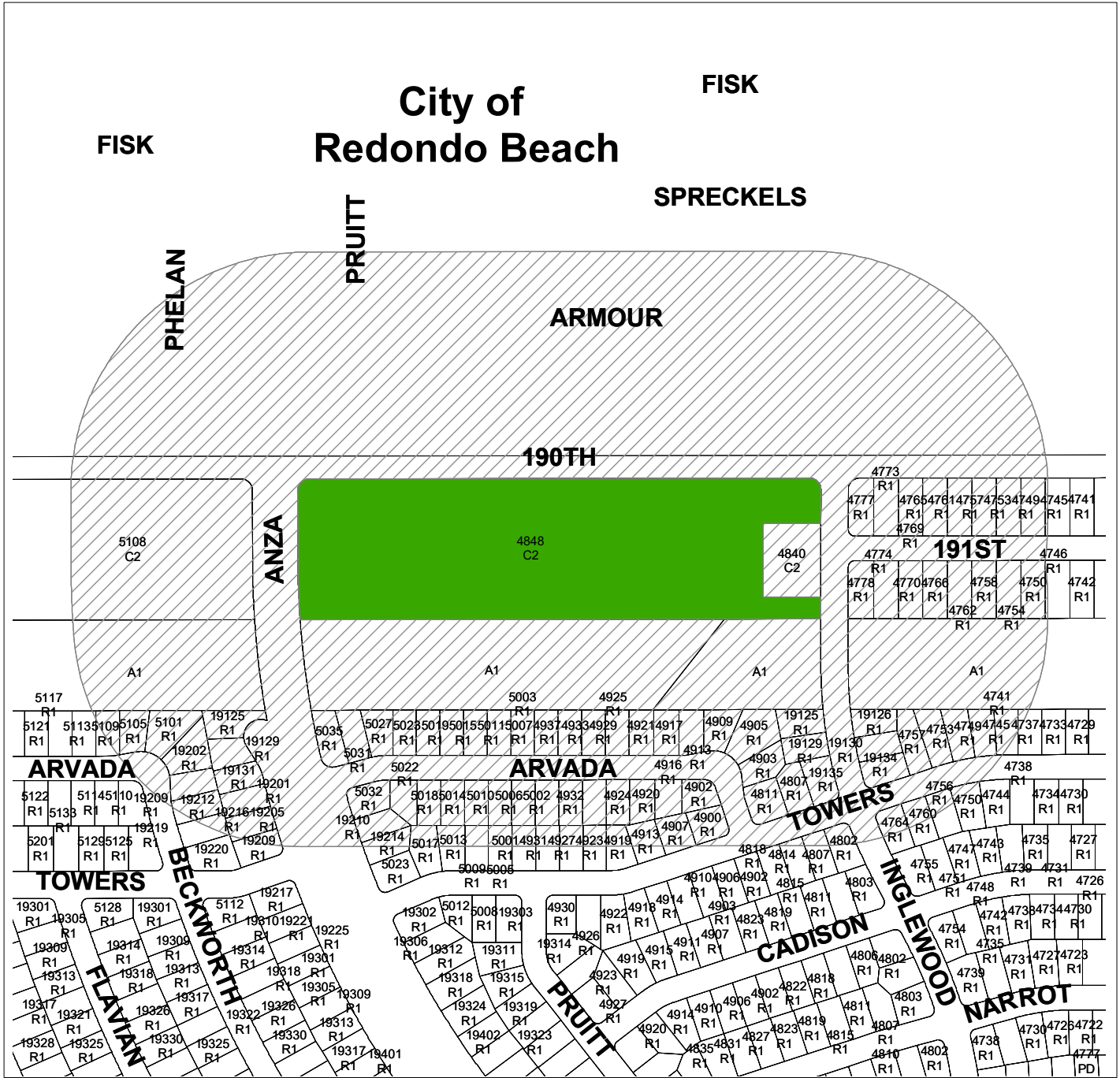
I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 7th day of August 2024, by the following roll call vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSENT: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8A
ATTACHMENT 2
LOCATION AND ZONING MAP

City of Redondo Beach




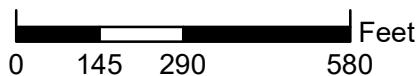
LOCATION AND ZONING MAP

CUP24-00002
4860 190th St



LEGEND

-  Notification Area
-  4860 190th St



ITEM 8A
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

ENGINEERING

1. Provide evidence of reciprocal cross access easement for ingress and egress with adjacent property to the westerly line of this lot.
2. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

ENVIRONMENTAL

4. Screen all roof equipment from public view per Torrance code (92.30.2).
5. No illegal signs, A-frames, banners, bow banners, balloons, sign holders, and twirlers are permitted. Except directional signs and parking signage.
6. Lot sweeping, deliveries and trash pick-up are prohibited between 10 P.M. And 7 A.M. per Torrance code (92.30.4).

ITEM 8A
ATTACHMENT 4
PROJECT PLANS (LIMITED DISTRIBUTION)

AGENDA ITEM NO. 8B

DATE: August 7, 2024

TO: Planning Commission

FROM: Dominique Allen, Planning Assistant
Leo Oorts, Planning Manager

SUBJECT: 4522 and 4600 Paseo de las Tortugas (APNs 7532-027-021 & 7532-027-039)
Division of Lot (DIV24-00001)

Consideration of a Division of Lot to allow a lot line adjustment between two lots, on properties located within the Hillside Overlay in the R-1 Zone at 4522 and 4600 Paseo de las Tortugas (APNs 7532-027-021 & 7532-027-039).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-043 for approval of a Division of Lot to allow a lot line adjustment between two lots, on properties located within the Hillside Overlay in the R-1 Zone at 4522 and 4600 Paseo de las Tortugas (APNs 7532-027-021 & 7532-027-039) and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15305 (Minor Alterations in Land Use Limitations).

EXECUTIVE SUMMARY

The project applicant, Denn Engineers (Dale and Howard Korman Trust / Jean Crocco Trust), request approval by the Planning Commission to allow a lot line adjustment between two lots, on properties located within the Hillside Overlay in the R-1 Zone at 4522 and 4600 Paseo de la Tortugas (APN 7532-027-021 & 7532-027-039).

The development standards of the R-1 Zone (Single Family Residential District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Divion of Lot (DIV) to allow a lot line adjustment.

Staff has determined the project is consistent with the Low Density Residential land use designation and complies with the development standards of the Torrance Municipal Code. Additionally, the project does not require further environmental review. The project meets the criteria for granting a lot line adjustment and staff recommends approval of the project, as conditioned. Staff notes the proposed lot line adjustment is not subject to the planning and design provisions of the Hillside Overlay because the project does not involve new construction. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Minor lot line adjustments which do not result in any changes to land use nor the creation of any new parcels are Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15305 (Minor Alterations in Land Use Limitations).

General Plan Land Use Designation

The project sites have a General Plan land use designation of Low Density Residential (R-LO), which allows up to nine dwelling units per acre. Development in the R-LO land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The proposed lot line adjustment between two lots is consistent with the Low Density Residential designation and does not result in any changes to land use.

Zoning Designation and Adjacent Land Uses

The project sites are designated as R-1 / R-H Zone (Single Family Residential District / Hillside Overlay) and bounded by six parcels that share the same zoning designation and developed with similar land uses to the north, east and west.

NORTH:	R-1 / R-H	One and Two-Story Single-Family Residences
SOUTH:		City of Palos Verdes Estates
EAST:	R-1 / R-H	One-Story Single-Family Residences
WEST:	R-1 / R-H	One-Story Single-Family Residences

Project Site

The project is located on two parcels, Parcel A and B, as identified on the project plans (Attachment 4), situated on the south side of the street at 4522 and 4600 Paseo de las Tortugas, respectively. Parcel A is a rectangular lot that measures 8,389 square feet and developed with a one-story single-family residence and garage, constructed in 1956. Access to Parcel A is provided directly from street frontage via a driveway and sidewalk along Paseo de las Tortugas. Parcel B is an irregular shape lot that measures 21,065 square feet and developed with a one-story single-family residence and garage, constructed in 1958. Access to Parcel B is provided from street frontage via a narrow portion of the lot that extends along a private driveway and includes an easement for utilities to serve properties located further west to the rear along Via El Sereno. Parcel A and B are separated by fencing and landscaping, with no direct access between. There are no outstanding natural features at the project site. Staff notes both Parcel A and B exceed the minimum lot area requirement of 6,000 square feet in the R-1 Zone.

Lot Line Adjustment

The proposed lot line adjustment between Parcel A and B repositions the southerly lot line at the rear of Parcel A to align with the westerly lot line along the side, which extends the depth of Parcel A by approximately 31' toward the south and reduces the length of Parcel B by approximately 76' from the east. The area of adjustment measures 1,140 square feet, thereby increasing the area of Parcel A to 9,529 square feet and decreasing the area of Parcel B to 19,925 square feet, which continue to exceed the minimum lot area requirement of 6,000 square feet in the R-1 Zone. The lot line adjustment does not result in any changes in land use nor interferes with access to Parcel A or B and does not affect any recorded easements.

Lot Dimensions

Per Torrance Municipal Code Section 91.4.3(a), the minimum lot dimensions in the R-1 Zone shall measure no less than 50' wide and 80' deep and shall have a minimum lot area of 6,000 square feet. Both parcels will continue to meet or exceed the minimum lot dimension requirements. Parcel A measures 76.92' wide along the southern portion of the property and measures 137.73' deep along the eastern portion of the lot and approximately 154.23' deep along the northeasterly portion of the lot. Parcel B measures a maximum of 119.70' wide towards the west end of the property and approximately 235.44' deep along the southern portion of the lot.

CONCLUSION

In the judgment of staff, the proposed lot line adjustment and resulting lot sizes are compatible with the current R-1 Zone and Low Density Residential land use designation. Furthermore, the proposed lot line adjustment would be compatible with the surrounding area, which include parcels measuring 6,000 square feet or more. In that regard, the resulting lots will be consistent with the development pattern of the immediate area. The proposed parcels meet the minimum 50' width and 80' depth lot dimension requirements, provide a gross area over 6,000 square feet, maintain consistent street frontages, and remain compatible with residential development trends in the surrounding area. For these reasons, staff recommends approval of the request as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 25, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-043
2. Location and Zoning Map
3. Code Requirements
4. Project Plans (Limited Distribution)

STAFF CONTACT

Dominique Allen, Planning Assistant
DAllen@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 8B
ATTACHMENT 1
RESOLUTION NO. 24-043

PLANNING COMMISSION RESOLUTION NO. 24-043

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A DIVISION OF LOT AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A LOT LINE ADJUSTMENT BETWEEN TWO LOTS, ON PROPERTIES LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 4522 AND 4600 PASEO DE LAS TORTUGAS.

**DIV24-00001: DENN ENGINEERS
(DALE AND HOWARD KORMAN TRUST / JEAN CROCCO TRUST)**

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on August 7, 2024, to consider an application for a Division of Lot filed by Denn Engineers (Dale and Howard Korman Trust / Jean Crocco Trust) to allow a lot line adjustment between two lots, on properties located within the Hillside Overlay in the R-1 Zone at 4522 and 4600 Paseo de las Tortugas; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 29 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties are located at 4522 and 4600 Paseo de las Tortugas (APNs 7532-027-021 & 7532-027-039);
- b) That Parcel A is described as TRACT # 22025 LOT 66, as per map recorded in the Office of the Los Angeles County Recorder, State of California and that Parcel B is described as "0.53 more or less AC COM at most E COR of LOT # 67 TRACT No 22025", as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor lot line adjustments which do not result in any changes to land use nor the creation of any new parcels are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15305 (Minor Alterations in Land Use Limitations);
- d) That the proposed lot line adjustment, as conditioned, together with provision for its design and improvement is consistent with the Low Density Residential land use designation;
- e) That the proposed lot line adjustment, as conditioned, is permitted within the R-1 Zone (Single Family Residential District / Hillside Overlay), and complies with the applicable provisions of this Division;
- f) That the site is physically suitable for the proposed lot line adjustment, as conditioned, and will not interfere with the orderly development of the City as the adjusted parcels are consistent with the development pattern in the area, and are consistent with the R-1 Zone development standards;

g) That the propose lot line adjustment, as conditioned, will not produce any or all of the following results:

- Damage or nuisance from noise, smoke, odor, dust or vibration,
- Hazard from explosion, contamination or fire,
- Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

WHEREAS, the Planning Commission by the following roll call vote APPROVED DIV24-00001, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that DIV24-00001 filed by Denn Engineers (Dale and Howard Korman Trust / Jean Crocco Trust), to allow a lot line adjustment between two lots, on properties located within the Hillside Overlay in the R-1 Zone at 4522 and 4600 Paseo de las Tortugas, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the lot line adjustment shall be subject to all conditions imposed in Division of Lot 24-00001 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the use shall be maintained in conformance with such maps, plans, drawings, specifications, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if Division of Lot 24-00001 is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period of time as provided for in Section 92.27.1;
3. That the official public notice sign and wood stake shall be returned to the Community Development Department within 30 days of the public hearing date to the satisfaction of the Community Development Director; (Planning)
4. That the applicant shall provide recorded easements for ingress/egress, sewer, water, and drainage facilities for proposed Parcel B; (Engineering)
5. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 7th day of August 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 7th day of August 2024, by the following roll call vote:

AYES: COMMISSIONERS:

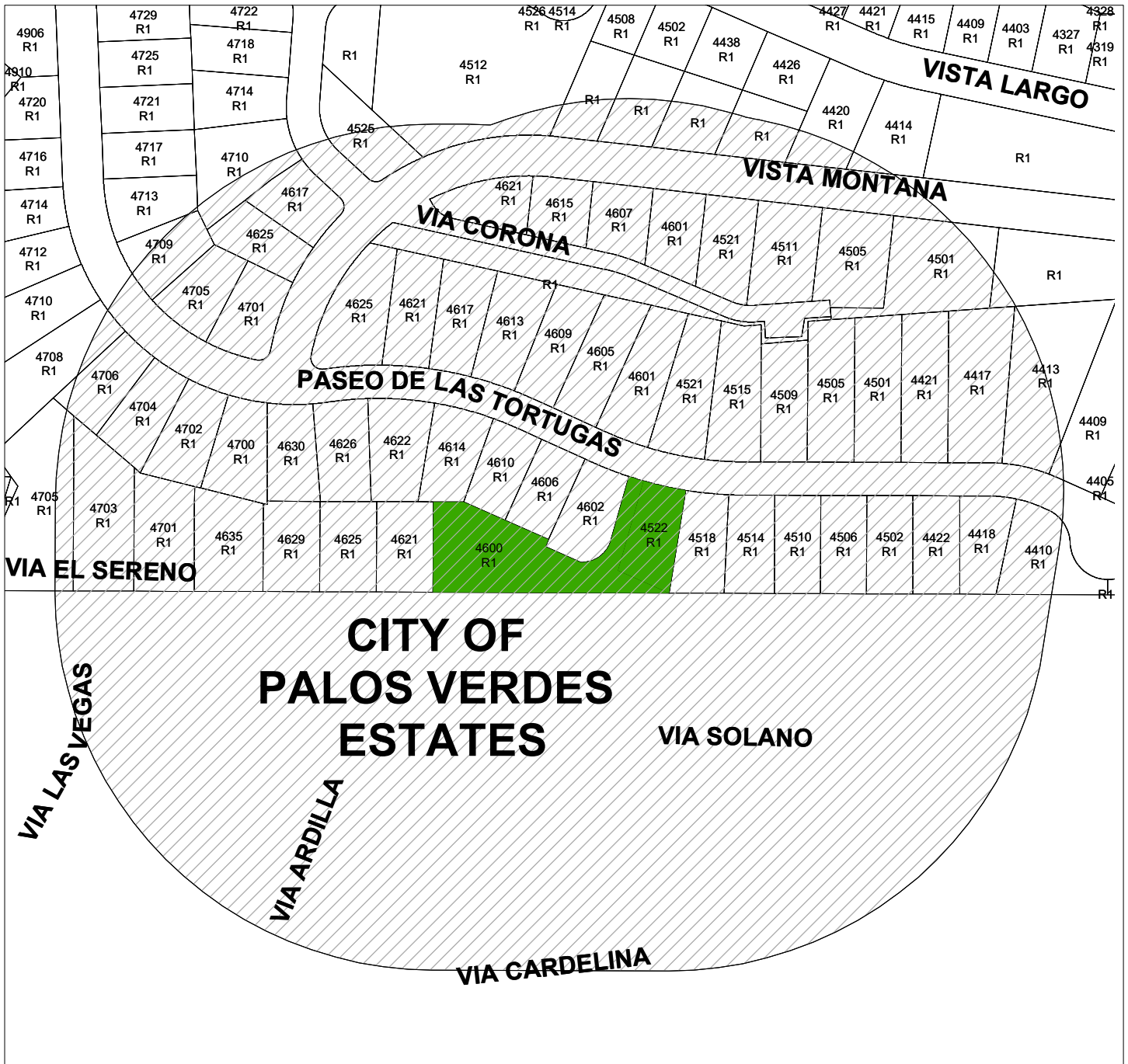
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8B
ATTACHMENT 2
LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

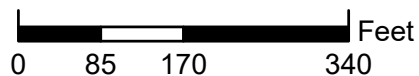
DIV24-00001

4522, 4600 PASEO DE LAS TORTUGAS



LEGEND

-  Notification_Area
-  Parcels



ITEM 8B
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with all California Codes and Torrance Ordinances.

ITEM 8B
ATTACHMENT 4
PROJECT PLANS

EXHIBIT "A"

EXISTING LEGAL DESCRIPTIONS

PARCEL A:

A.P.N. 7532-027-021

LOT 66, TRACT NO. 22025, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 598, PAGES 91 THROUGH 95, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:

A.P.N. 7532-027-039

PARCEL 1: THAT PORTION OF LOT "B" OF THE RANCHO LOS PALOS VERDES, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER FINAL DECREE OF PARTITION NO. 2373 OF THE DISTRICT COURT OF THE COUNTY OF LOS ANGELES, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 66 OF TRACT NO. 22025, AS SHOWN ON MAP RECORDED IN BOOK 598, PAGES 91 TO 95 INCLUSIVE OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT "B" NORTH 89° 46' 04" WEST 312.36 FEET; THENCE NORTH 0°13'56"EAST 119.70 FEET TO A POINT IN THE SOUTHERLY LINE OF LOT 70 OF SAID TRACT NO. 22025, DISTANT ALONG SAID SOUTHERLY LINE NORTH 89°46'04" WEST 39.93 FEET FROM THE SOUTHEAST CORNER OF SAID LOT 70; THENCE ALONG SAID SOUTHERLY LINE SOUTH 89°46'04" EAST 39.93 FEET; THENCE ALONG THE SOUTHERLY LINE OF SAID TRACT NO. 22025 SOUTH 66°02'53" EAST 297.57 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF LOT 67 OF TRACT NO. 22025 DISTANT THEREON NORTH 66°02'53" WEST 34.92 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 67. SAID POINT BEING ALSO ON A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 40.00 FEET, A RADIAL LINE AT SAID POINT BEARING NORTH 23°35'08"WEST; THENCE WESTERLY ALONG SAID CURVE TO THE INTERSECTION THEREOF WITH A LINE PARALLEL WITH AND DISTANT SOUTHWESTERLY 10.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE SOUTHWESTERLY LINE OF SAID LOT 67; THENCE ALONG SAID PARALLEL LINE NORTH 66°02'53"WEST TO THE SOUTHWESTERLY PROLONGATION OF THE NORTHWESTERLY LINE OF SAID LOT 67; THENCE ALONG SAID PROLONGATION NORTH 24°28'03" EAST TO THE MOST WESTERLY CORNER OF SAID LOT 67; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT 67; SOUTH 66°02'53" EAST 65.78 FEET TO THE POINT BEGINNING.

PARCEL 2: AN EASEMENT FOR ROAD PURPOSES, 27.00 FEET WIDE, OVER PORTIONS OF LOTS 31, 32, 33, 51 AND 52 OF TRACT NO. 22024, AS SHOWN ON MAP RECORDED IN BOOK 583, PAGES 39 TO 46 INCLUSIVE OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY, AND OVER A PORTION OF LOT "B" OF THE RANCHO LOS PALOS VERDES, AS PER FINAL DECREE OF PARTITION NO. 2373 OF THE DISTRICT COURT OF SAID COUNTY, THE CENTERLINE OF WHICH IS BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF A LINE PARALLEL WITH AND DISTANT SOUTHWESTERLY 10.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE NORTHEASTERLY LINE OF SAID LOT 52 OF TRACT NO. 22024, WITH THE NORTHERLY LINE OF SAID LOT 52, SAID NORTHERLY LINE BEING A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 50.00 FEET; A RADIAL LINE AT SAID POINT OF INTERSECTION BEARING NORTH 29°44'40" WEST; THENCE ALONG SAID PARALLEL LINE SOUTH 41°16'53" EAST 99.57 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 25.00 FEET; THENCE EASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 43°59'27" AN ARC DISTANCE OF 19.19 FEET; THENCE TANGENT TO SAID CURVE SOUTH 85°16'20" EAST 246.66 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 100.00 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 5°09'30" AN ARC DISTANCE OF 9.03 FEET; THENCE TANGENT TO SAID CURVE NORTH 89°34'10" EAST 101.55 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 100.00 FEET, THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 3°08'47" AN ARC DISTANCE OF 5.49 FEET; THENCE TANGENT TO SAID CURVE NORTH 86°25'23" EAST 232.63 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTH HAVING A RADIUS OF 100 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE 3°37'46" AN ARC DISTANCE OF 6.33 FEET; THENCE TANGENT TO SAID CURVE SOUTH 89°56'51" EAST 28.38 FEET TO THE WESTERLY LINE OF PARCEL 1, ABOVE DESCRIBED.

EXCEPT THAT PORTION OF LOT 51, AS GRANTED TO THEO. LINHART, JR., AND MARY LOU LINHART, HUSBAND AND WIFE, RECORDED JANUARY 4, 1957, AS INSTRUMENT NO. 2418, IN BOOK 53278 PAGE 21, OFFICIAL RECORDS.

THE SIDELINES OF SAID EASEMENT ARE TO BE PROLONGED OR SHORTENED SO AS TO TERMINATE EASTERLY IN THE WESTERLY LINE OF PARCEL 1, ABOVE DESCRIBED AND NORTHWESTERLY IN THE NORTHERLY LINE OF LOT 52 OF TRACT NO. 22024.

PARCEL 3: THAT PORTION OF LOT 67 OF TRACT 22025 IN THE CITY OF TORRANCE, AS PER MAP RECORDED IN BOOK 598 PAGES 91 TO 95 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING EASTERLY OF THE WESTERLY LINE OF THE EASEMENT OF THE CITY OF TORRANCE FOR STORM DRAIN PURPOSES AS SHOWN UPON AND DEDICATED BY THE MAP OF SAID TRACT NO. 22025.

PROPOSED LEGAL DESCRIPTIONS

PARCEL A:

LOT 66, TRACT NO. 22025, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 598, PAGES 91 THROUGH 95, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF LOT "B" OF THE RANCHO LOS PALOS VERDES, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER FINAL DECREE OF PARTITION NO. 2373 OF THE DISTRICT COURT OF THE COUNTY OF LOS ANGELES, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 66; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT "B" NORTH 89° 46' 04" WEST 76.92 FEET; THENCE NORTH 17°49'35"EAST 31.09 FEET TO A POINT, SAID POINT BEING THE SOUTHWESTERLY CORNER OF SAID LOT 66; THENCE SOUTHEASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 66 73.71 FEET TO THE POINT OF BEGINNING.

PARCEL B:

PARCEL 1: THAT PORTION OF LOT "B" OF THE RANCHO LOS PALOS VERDES, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER FINAL DECREE OF PARTITION NO. 2373 OF THE DISTRICT COURT OF THE COUNTY OF LOS ANGELES, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 66 OF TRACT NO. 22025, AS SHOWN ON MAP RECORDED IN BOOK 598, PAGES 91 TO 95 INCLUSIVE OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT "B" NORTH 89° 46' 04" WEST 312.36 FEET; THENCE NORTH 0°13'56"EAST 119.70 FEET TO A POINT IN THE SOUTHERLY LINE OF LOT 70 OF SAID TRACT NO. 22025, DISTANT ALONG SAID SOUTHERLY LINE NORTH 89°46'04" WEST 39.93 FEET FROM THE SOUTHEAST CORNER OF SAID LOT 70; THENCE ALONG SAID SOUTHERLY LINE SOUTH 89°46'04" EAST 39.93 FEET; THENCE ALONG THE SOUTHERLY LINE OF SAID TRACT NO. 22025 SOUTH 66°02'53" EAST 297.57 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF LOT 67 OF TRACT NO. 22025 DISTANT THEREON NORTH 66°02'53" WEST 34.92 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 67. SAID POINT BEING ALSO ON A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 40.00 FEET, A RADIAL LINE AT SAID POINT BEARING NORTH 23°35'08"WEST; THENCE WESTERLY ALONG SAID CURVE TO THE INTERSECTION THEREOF WITH A LINE PARALLEL WITH AND DISTANT SOUTHWESTERLY 10.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE SOUTHWESTERLY LINE OF SAID LOT 67; THENCE ALONG SAID PARALLEL LINE NORTH 66°02'53"WEST TO THE SOUTHWESTERLY PROLONGATION OF THE NORTHWESTERLY LINE OF SAID LOT 67; THENCE ALONG SAID PROLONGATION NORTH 24°28'03" EAST TO THE MOST WESTERLY CORNER OF SAID LOT 67; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT 67; SOUTH 66°02'53" EAST 65.78 FEET TO THE POINT BEGINNING.

PARCEL 2: AN EASEMENT FOR ROAD PURPOSES, 27.00 FEET WIDE, OVER PORTIONS OF LOTS 31, 32, 33, 51 AND 52 OF TRACT NO. 22024, AS SHOWN ON MAP RECORDED IN BOOK 583, PAGES 39 TO 46 INCLUSIVE OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY, AND OVER A PORTION OF

LOT "B" OF THE RANCHO LOS PALOS VERDES, AS PER FINAL DECREE OF PARTITION NO. 2373 OF THE DISTRICT COURT OF SAID COUNTY, THE CENTERLINE OF WHICH IS BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF A LINE PARALLEL WITH AND DISTANT SOUTHWESTERLY 10.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE NORTHEASTERLY LINE OF SAID LOT 52 OF TRACT NO. 22024, WITH THE NORTHERLY LINE OF SAID LOT 52, SAID NORTHERLY LINE BEING A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 50.00 FEET; A RADIAL LINE AT SAID POINT OF INTERSECTION BEARING NORTH 29°44'40" WEST; THENCE ALONG SAID PARALLEL LINE SOUTH 41°16'53" EAST 99.57 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 25.00 FEET; THENCE EASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 43°59'27" AN ARC DISTANCE OF 19.19 FEET; THENCE TANGENT TO SAID CURVE SOUTH 85°16'20" EAST 246.66 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 100.00 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 5°09'30" AN ARC DISTANCE OF 9.03 FEET; THENCE TANGENT TO SAID CURVE NORTH 89°34'10" EAST 101.55 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 100.00 FEET, THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 3°08'47" AN ARC DISTANCE OF 5.49 FEET; THENCE TANGENT TO SAID CURVE NORTH 86°25'23" EAST 232.63 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTH HAVING A RADIUS OF 100 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE 3°37'46" AN ARC DISTANCE OF 6.33 FEET; THENCE TANGENT TO SAID CURVE SOUTH 89°56'51" EAST 28.38 FEET TO THE WESTERLY LINE OF PARCEL 1, ABOVE DESCRIBED.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 66; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT "B" NORTH 89° 46' 04" WEST 76.92 FEET; THENCE NORTH 17°49'35"EAST 31.09 FEET TO A POINT, SAID POINT BEING THE SOUTHWESTERLY CORNER OF SAID LOT 66; THENCE SOUTHEASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 66 73.71 FEET TO THE POINT OF BEGINNING.

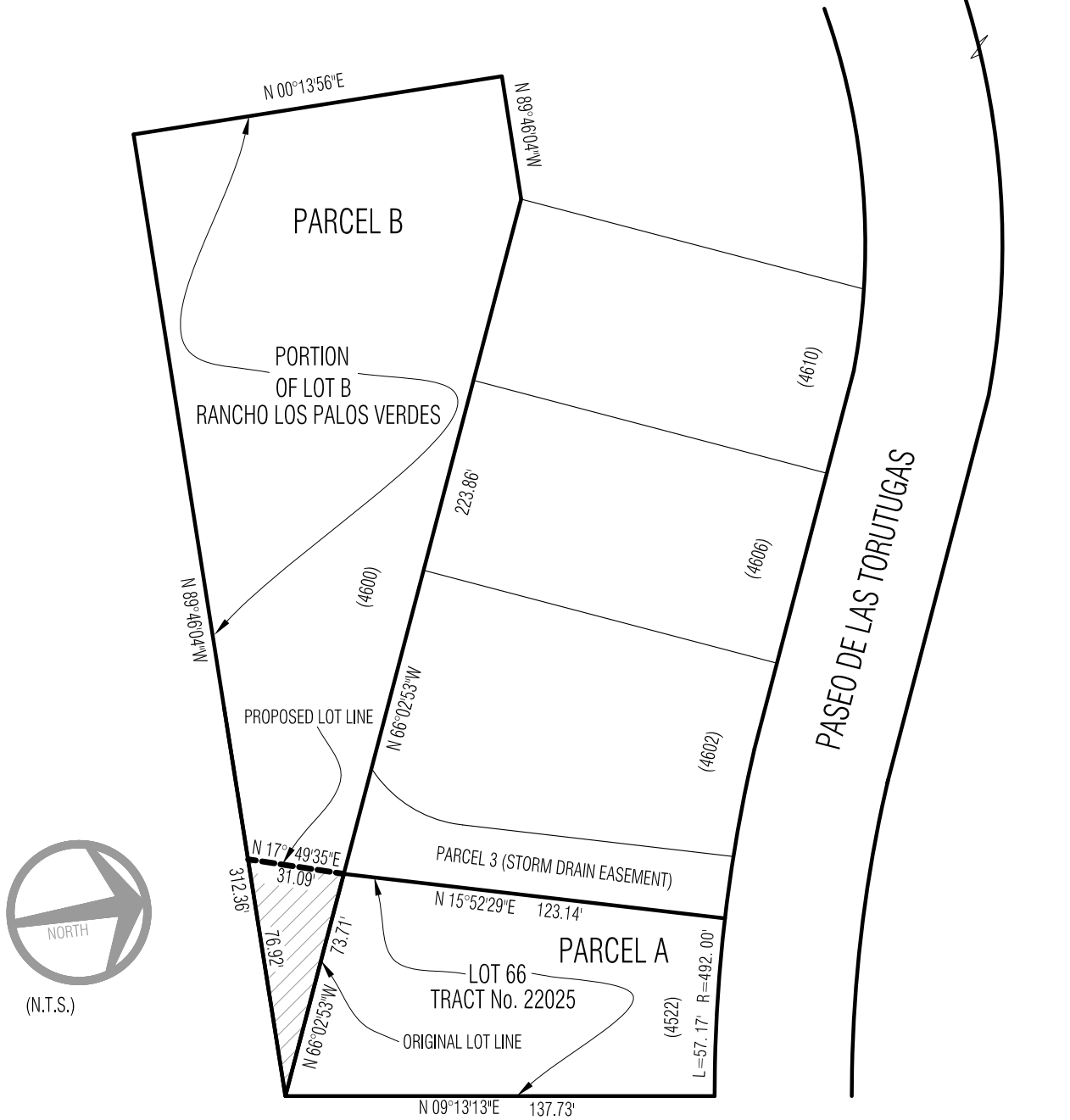
ALSO, EXCEPT THAT PORTION OF LOT 51, AS GRANTED TO THEO. LINHART, JR., AND MARY LOU LINHART, HUSBAND AND WIFE, RECORDED JANUARY 4, 1957, AS INSTRUMENT NO. 2418, IN BOOK 53278 PAGE 21, OFFICIAL RECORDS.

THE SIDELINES OF SAID EASEMENT ARE TO BE PROLONGED OR SHORTENED SO AS TO TERMINATE EASTERLY IN THE WESTERLY LINE OF PARCEL 1, ABOVE DESCRIBED AND NORTHWESTERLY IN THE NORTHERLY LINE OF LOT 52 OF TRACT NO. 22024.

PARCEL 3: THAT PORTION OF LOT 67 OF TRACT 22025 IN THE CITY OF TORRANCE, AS PER MAP RECORDED IN BOOK 598 PAGES 91 TO 95 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING EASTERLY OF THE WESTERLY LINE OF THE EASEMENT OF THE CITY OF TORRANCE FOR STORM DRAIN PURPOSES AS SHOWN UPON AND DEDICATED BY THE MAP OF SAID TRACT NO. 22025.

EXHIBIT "B"

VISTA MONTANA



AGENDA ITEM NO. 8C

DATE: August 7, 2024

TO: Planning Commission

FROM: Kevin Joe, Planning Associate
Leo Oorts, Planning Manager

SUBJECT: 703 Madrid Avenue (APN 7354-003-017)
Planning Commission Review (PCR23-00003)

Consideration of a Planning Commission Review to allow first-story additions to an existing one-story single-family residence on property located within the Torrance Tract Overlay in the R-2 Zone at 703 Madrid Avenue.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-044 for approval of a Planning Commission Review to allow first-story additions to an existing one-story single-family residence on property located within the Torrance Tract Overlay in the R-2 Zone at 703 Madrid Avenue, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Kevin Gilchrist and Laura Fourness, requests approval by the Planning Commission to allow first-story additions to an existing single-family residence on property located within the Torrance Tract Overlay in the R-2 Zone at 703 Madrid Avenue.

Since the property is developed with a single-family residential use, the development standards of the R-1 Zone (Single-Family Residential District), as opposed to the R-2 Zone standards, apply. In addition to the R-1 Zone development standards, the Torrance Tract Overlay and the Torrance Municipal Code (TMC) are applicable to the project. Discretionary review and approval of the following entitlement is required:

- Planning Commission Review (PCR) to allow alterations to the exterior facade of a contributing or altered-contributing structure.

Staff has thoroughly reviewed the project and determined the project is consistent with the Low-Medium Density Residential (R-LM) land use designation and complies with the objective development standards of the Torrance Municipal Code and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Minor alterations to existing facilities are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The project site has a General Plan land use designation of Low-Medium Density Residential, which is characterized by single-family homes and duplexes with a density range of 9.1 to 18 dwelling units per acre. This designation is implemented by the R-2 Two Family Residential District.

The existing single-family residence is consistent with the Low-Medium Density Residential designation. The proposed first-story additions to an altered contributor structure are allowed with the approval of a Planning Commission Review.

Zoning Designation and Adjacent Land Uses

The project site is designated as R-2 Zone (Two Family Residential District) (Attachment 2). The subject property is surrounded by the following land uses and zoning designations, summarized below.

NORTH:	R-2, Torrance Tract Overlay	Single-family and two-family residences
SOUTH:	R-2, Torrance Tract Overlay	Single-family and two-family residences
EAST:	R-2, Torrance Tract Overlay	Single-family and two-family residences
WEST:	R-2, Torrance Tract Overlay	Single-family and two-family residences

Project Site

The property is currently developed with an 864-square foot one-story single-family residence originally built in 1924 with an unpermitted 286-square foot addition, a 330-square foot detached two-car garage, and a 330-square foot rumpus room attached to the garage with an unpermitted 190-square foot addition. The subject parcel is a rectangular shaped lot that measures 50 feet in width, 140 feet in depth, 7,002 square feet in area, and abuts an alley along the rear (westerly) property line. The garage takes driveway access from the street.

Project Description

The applicant is proposing the construction of an 830-square foot one-story addition to the side and rear of an existing 864-square foot one-story single-family residence. Two unpermitted additions, a 286-square foot addition to the residence and a 190-square foot addition to a detached rumpus room, will be removed and construction of a 50-square foot garage addition are also proposed as part of this project.

Building Setbacks

The project plans show that the remodeled residence will provide a 20-foot front yard setback, a 9-foot, 6-inch and 11-foot, 7-inch side yard setback, and an approximately 61-foot rear yard setback, which all meet or exceed the minimum setback requirements. During the review of initial project plans, it was discovered that the location of the front property line was not accurately depicted on the site plan. Staff has included a condition of approval that will require that the plans submitted for Building Plan Check be based on a property survey to ensure that the setback standards will be met.

The plan depicts a proposed 5-foot wide covered porch at the front of the residence. Per Torrance Municipal, porches that are unenclosed on three sides may extend into the required front yard a distance not to exceed four feet. The porch floor, which is less than two feet tall, may extend to the property line. The plans depict the porch posts encroaching into the required 20-foot front yard setback more than four feet, and, as such, the porch posts will be required to be relocated to meet the setback requirement of 16 feet.

The detached two-car garage and rumpus room will provide 8-foot, 10-inch and 5-foot side yard setback and 2-foot, 6-inch rear yard setback, which complies with the setback requirements for accessory structures located in the rear quarter of the lot. The detached garage and rumpus room will be 38 feet, 4 inches away from the remodeled residence.

Building Height

The height of the remodeled residence will be approximately 16 feet, which complies with the 18-foot height limit for a one-story residence.

The height of the existing detached garage, rumpus room and garage addition will be 11 feet, 7 inches, which complies with the 14 feet height limit for an accessory structure.

Building Architecture

According to the Historic Resources Survey, the architectural style of the residence was believed to be Craftsman. Significant exterior modifications have been made over time that were not in keeping with the Craftsman style including installing replacement windows and doors that are not historically consistent with the original architecture, stuccoing of the walls, and the removal of the original Craftsman details.

The remodeled residence will restore some of the Craftsman character defining elements along the front elevation that were removed, such as the front porch, horizontal siding, double-hung wood framed windows, window trim, and roof outlooker beam. The side and rear elevations of residence will have stucco finish. A condition of approval has been included to require that Craftsman style design elements are incorporated for the proposed addition in order to restore the architectural character of the residence.

The garage and rumpus room has stucco finish and a shingle roof. The preservation requirements of the Torrance Tract Overlay do not apply to accessory structures such as the detached garage and rumpus room.

Building Floor Plan

The remodeled residence will consist of three bedrooms, two bathrooms, a living room, a kitchen, a dining room, and a laundry room. All three bedrooms will be over 120 square feet in area, which complies with the minimum size requirement.

Lot Coverage, Open Space, and Floor Area Ratio

The floor area ratio and lot coverage of the remodeled residence, enlarged garage and rumpus room will be 0.34, which is below the 0.50 maximum allowed for a one-story structure. 3,675 square feet of usable open space (52% of the lot size) will be provided and 2,334 square feet (33% of the lot size) is required.

The total area of existing detached two-car garage, 330 square feet, and permitted rumpus room, 316 square feet, is 646 square feet, which exceeds the maximum allowable size for accessory structure allowed by Code, which for this property is 587 square feet. At the time the rumpus room was permitted in 1957, the rumpus room met the development standards that were in place. The 50-square foot garage addition is required to bring the garage interior dimensions up to standard. The homeowner has indicated their intention of converting the garage and rumpus room into an ADU in the future. For these reasons, staff does not object to the enlarging of the existing non-conforming garage.

Parking

The existing 330-square foot detached two-car garage is substandard in interior dimensions. The size of the proposed addition will require that the existing two-car garage be enlarged to meet the minimum 18 feet wide by 20 feet deep interior dimensions that are required by Code. The project plans depict a 50-square foot addition that will enlarge the garage in order to comply with the minimum interior dimension requirements for a two-car garage.

Statistical Information

Lot Area	7,002 square feet
Existing Residence (permitted)	864 square feet
Unpermitted addition (to be removed)	286 square feet
Proposed addition	830 square feet
Existing two-car garage	330 square feet
Garage addition	50 square feet
Rumpus Room (permitted)	316 square feet
Unpermitted Rumpus Room addition (to be removed)	190 square feet
Total Floor Area	2,390 square feet
Floor Area Ratio/Lot Coverage	0.34 (2,390 s.f./7,002 s.f.)
Usable Open Space (percentage)	3,675 square feet (52%)

Torrance Tract Overlay/Compliance with Historic Preservation Plan

The subject residence was identified as an altered-contributing structure in the Historic Resources Survey performed between 2011 and 2013. Due to the significant alterations that were made to the structure over time, the architectural style is not definitive, but it was believed to be Craftsman. Planning Commission Review approval is required for proposed alterations to the exterior façade of contributing or altered-contributing residential structure in the Torrance Tract Overlay.

In addition to the criteria set forth in the Torrance Tract Overlay ordinance, this project is reviewed for consistency with the Historic Preservation Plan. On December 5, 2017, the Torrance Tract Overlay was established on a permanent basis to further implement the programs and goals of the Preservation Plan. The primary purpose of the Preservation Plan is to encourage the designation of historic landmarks and districts in order to preserve the Torrance Tract's unique place in the City's history, maintain its neighborhood character, manage appropriate change, and promote a sense of place. Although the subject property is not designated as a historic landmark or within a historic district, the Preservation Plan strives to protect contributing and altered-contributing structures, regardless of the property's historic status, from whole or partial demolition, prevent incompatible alterations, and preserve the neighborhood character of the Torrance Tract.

In staff's judgment, the proposed additions to the existing altered-contributing Craftsman structure are consistent with the Preservation Plan's purpose of contributing and altered-contributing structuring and maintaining neighborhood character of the Torrance Tract as it relates to design, size, scale, profile, and massing found with residences constructed during the period of significance (1912-1945).

CONCLUSION

In the judgment of staff, the proposed first-story additions to the existing one-story single-family residence, as conditioned, are compatible with the residential use and the surrounding area because the remodeled residence will restore some of the original craftsman design elements, such as the front porch, horizontal siding, double hung windows and window trim, that were previously removed and be in scale with other one-story homes in the neighborhood. The remodeled residence, as conditioned, will comply with R-1 development standards and two-car garage requirement.

As of the preparation of this report, no written correspondence has been received pertaining to the request.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 25, 2024, to the registered owner of properties located within a 500-foot radius

of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolution. For more information, please contact the City Clerk’s Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-044
2. Location and Zoning Map
3. Code Requirements
4. Project Plans

STAFF CONTACT

Kevin Joe, Planning Associate
KJoe@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 8C
ATTACHMENT 1
RESOLUTION NO. 24-044

PLANNING COMMISSION RESOLUTION NO. 24-044

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PLANNING COMMISSION REVIEW TO ALLOW THE CONSTRUCTION OF A ONE-STORY ADDITION TO AN EXISTING ONE-STORY, SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE TORRANCE TRACT OVERLAY IN THE R-2 ZONE AT 703 MADRID AVENUE.

PCR23-00003: KEVIN GILCHRIST AND LAURA FOURNESS

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on August 7, 2024, to consider an application for a Planning Commission Review filed by Kevin Gilchrist and Laura Fourness to allow the construction of a one-story addition to an existing one-story, single-family residence, on property located within the Torrance Tract Overlay District in the R-2 Zone at 703 Madrid Avenue; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 49 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property address is 703 Madrid Avenue (APN 7354-003-017);
- b) That the property is located on Lot 9, Block 82 of the Torrance Tract as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That construction of an addition on this property is Categorically Exempt pursuant to Section 15301 Existing Facilities of the Guidelines for Implementation of the California Environmental Quality Act (CEQA);
- d) That the proposed one-story addition will tend to preserve the neighborhood characteristics because elements of the original Craftsman style architecture will be maintained or restored as part of this project;
- e) That the existing two-car garage is accessed off of Madrid Avenue and there is no new curb-cut proposed as part of this project;
- f) That the proposed construction will provide the required off-street parking as there is an existing two-car garage provided on the property;
- g) That the use and intensity of the project will be compatible with the properties in the vicinity because the remodeled residence will be similar in design and scale with other single-family residential properties in the neighborhood;
- h) That the project will provide suitable open space, both in size and configuration, for the property because over one-third of the lot will be provided as usable open space in the front and rear yard areas;
- i) That the proposed floor area ratio will not exceed 0.50 to 1.0;
- j) That the proposed one-story addition will provide sufficient storage space for personal effects so that the occupants will be encouraged to use the garage spaces; and

WHEREAS, the Planning Commission by the following roll call vote APPROVED PCR23-00003, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PCR23-00003, filed by Kevin Gilchrist and Laura Fourness to allow the construction of one-story addition to an existing one-story, single-family residence, on property located within the Torrance Tract Overlay in the R-2 Zone at 703 Madrid Avenue is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for single-family residence shall be subject to all conditions imposed in Planning Commission Review 23-00003 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Planning Commission Review 23-00003 is not used within one (1) year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of the signed Resolution, with all conditions of approval shall be incorporated to the set of plans submitted for plan check; (Planning)
4. That four-inch (minimum) contrasting address numerals shall be provided for residential; (Environmental)
5. That building permits to demolish the unpermitted rumpus room addition shall be obtained prior to issuance of building permits for the proposed addition. Demolish of unpermitted addition shall be completed prior to final inspection for proposed addition; (Planning/Building)
6. That the final architectural elevation drawings for the one-story addition shall be submitted to the Community Development Department for review and approval. Craftsman details shall be incorporated into the final design to the satisfaction of the Community Development Director. Details shall include, but are not limited to wood or composite siding, double-hung windows, multi-paned over single-paned windows, window trim with prominent lintels and sills, exterior doors, gable brackets and composition asphalt shingle roof, (Planning)
7. That the site plan submitted for Building Plan Check shall accurately reflect the location of all property lines and be based on a survey map prepared by a licensed surveyor or civil engineer; (Planning)
8. That the front porch shall not extend into the required front yard more than four feet. The porch posts shall be a minimum of 16 feet from the front property line; (Planning)
9. That the existing street tree shall be protected during construction; (Public Works- Streetscape)

- 10. That within 30 days of the final public hearing, the applicant shall remove the “Public Notice” sign to the satisfaction of the Community Development Director; (Planning) and
- 11. That all conditions of other City departments received prior to or during the meeting shall be met.

Introduced, approved and adopted this 7th day of August 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 7th day of August 2024, by the following roll call vote:

AYES: COMMISSIONERS:

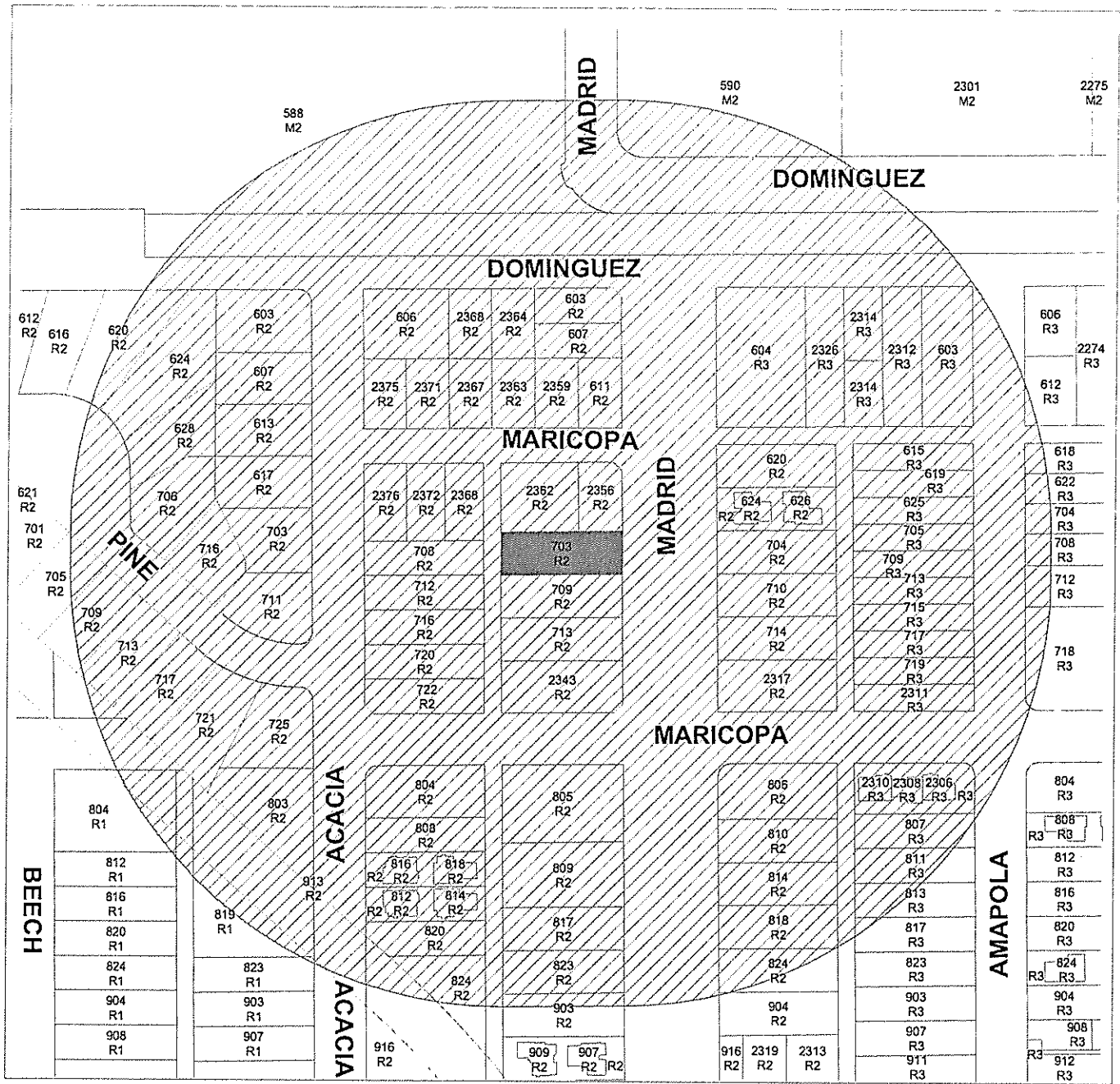
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8C
ATTACHMENT 2
LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

PCR23-00003
703 Madrid Ave

T O R R A N C E
C I T Y
G E O G R A P H I C I N F O R M A T I O N S Y S T E M

LEGEND

- Notification Area
- 703 Madrid Ave

0 75 150 300 Feet

Prepared using City of Torrance Community Development Geographic Information System
Michelle G. Ramirez, Community Development Director

ITEM 8C
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 California Residential Code, California Building Code, California Mechanical Code, California Electrical Code, California Plumbing Code, and California Green Building Code.

ENGINEERING

2. Remove loose rocks and concrete pads in the public parkway along the property frontage on Madrid Avenue and replace with approved drought tolerant landscaping.
3. Revise plan and show the property in the correct location. The property line is located 17 feet behind the existing curb.

ENVIRONMENTAL

4. Bedroom sizes to be as determined per Torrance Code 92.20.2.
5. The front yard of any property zoned for residential use shall not be more than 50% paved per Torrance Code 92.5.14.
6. The water heater shall not encroach into the required parking area.
7. The washer and dryer shall not encroach into the required parking area.
8. For residential uses, the interior dimensions of a two-car garage shall be 18 feet wide by 20 feet deep with no encroachments per Torrance Code 93.5.2.
9. The property shall be landscaped prior to final inspection per Torrance Code 92.21.9.

PLANNING

10. The porch and landing, if unenclosed on three sides, may encroach in the front a distance not to exceed four feet per Torrance Code 92.5.2

ITEM 8C
ATTACHMENT 4
PROJECT PLANS (LIMITED DISTRIBUTION)

AGENDA ITEM NO. 8D

DATE: August 7, 2024

TO: Planning Commission

FROM: Natalie Niemeyer, Planning Associate
Leo Oorts, Planning Manager

SUBJECT: 5405 Paseo de Pablo (APN 7532-017-006)
Precise Plan of Development (PRE24-00002)

Consideration of a Precise Plan of Development to allow a one-story addition to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 5405 Paseo de Pablo.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-045 for approval of a Precise Plan of Development to allow a one-story addition to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 5405 Paseo de Pablo, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Robert Riblett (Angela Daniels), requests approval by the Planning Commission to allow a one-story addition to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 5405 Paseo de Pablo.

The development standards of the R-1 Zone (Single Family Residential District) as well as the planning and design provisions of the Hillside Overlay are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Precise Plan of Development (PRE) to allow new construction above 14' in height.

Staff has thoroughly reviewed the project and has determined the project is consistent with the Low-Density Residential land use designation and complies with the objective development standards of the R-1 Zone as well as the planning and design provisions of the Hillside Overlay, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

In residential zones, additions to a one-story single-family residence are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The site has a General Plan Land Use Designation of Low-Density Residential. Development in the Low-Density Residential land use designation is characterized generally by detached one- and two-story single family residences on individual lots forming a cohesive neighborhood. The proposed one-story addition to an existing single family residence is consistent with the land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as R-1 Zone (Single Family Residential District) and bounded by four parcels that share the same zoning designation and are developed with similar land uses to the north, south, east and, west.

NORTH: R-1 Hillside Overlay District, One and Two-Story Single Family Residences

EAST: R-1 Hillside Overlay District, One-Story Single Family Residence

SOUTH: R-1 Hillside Overlay District, One and Two-Story Single Family Residences

WEST: R-1 Hillside Overlay District, One-Story Single Family Residence

Project Site

The subject property is situated on a rectangular shaped lot measuring 8,370 square feet. The property is orientated towards the south and is on the north side of Paseo de Pablo. Located atop a hillside area, properties on the north side of Paseo de Pablo sit significantly above the properties to the rear along Calle de Ricardo. Paseo de Pablo has a slight easterly incline resulting in the project site having a slightly lower pad height than the easterly neighboring property.

Building Floor Plan

The proposed 564 square foot addition to the existing one-story single family residence results in a new floor area measuring 2,959 square feet and features a contemporary, open floor plan that increases natural light and promotes accessibility between different living areas. The changes to the existing floor plan include the conversion of the existing swing-in garage to livable space, a new street facing garage, and a 144 square foot addition to the rear of the residence. The four bedrooms are all proposed along the west portion of the house with the main bedroom having direct access to the backyard. A total of three bathrooms are proposed along with a utility room, an open kitchen, dining, and living area, and a new two-car garage. The new garage measures 420 square feet and is orientated towards the street (south).

Building Setbacks and Site Improvements

The residence is centered on the lot, complies with the 20' average front yard setback with the closest portion measuring 19'-10", provides a 5'-2" side yard setback to the west, a 5'-7" side yard setback to the east, and a 33'-9" rear yard setback. All setbacks meet or exceed the minimum requirements of the R-1 Zone.

Building Height

The existing one-story single family residence measures 15'-11" in height as measured from the lowest adjacent grade (LAG). The proposed addition will maintain the existing height. Staff notes that the project plans call out a maximum height of 15'-11" whereas the silhouette certification identifies a maximum height of 15'-10 5/8", resulting in a difference of 3/8". Staff notes the discrepancy is negligible and a Condition of Approval has been included to ensure the maximum height shall not exceed 15'-11". Staff notes for properties located within the Hillside Overlay, new construction is allowed to exceed 14' in height with approval by the Planning Commission.

Lot Coverage and Open Space

The total usable open space in the front and rear yard areas measure 4,606 square feet (55%), which exceeds the 33% minimum open space requirement of the R-1 Zone. The total land area covered by the residence measures 3,033 square feet (36%), within the allowable 50% lot coverage limit of the R-1 Zone.

Provided below is a summary of the proposed residence:

Project Summary	
Lot Area	8,370 sf
Proposed Building Height	15.92 ft
Maximum One-Story Building Height Limit	18 ft
Existing Floor Area (Including Garage)	2,408 sf
Proposed Floor Area (Including Garage)	2,959 sf
Proposed Lot Coverage	36% 3,033 sf
Maximum Lot Coverage Limit	50% 4,185 sf
Proposed Open Space Area	55% 4,606 sf
Minimum Open Space Requirement	33% 2,762sf

Building Architecture

The residence demonstrates appeal through modulation of building masses, elevations, and rooflines to promote visual interest. Exterior finishes are of high quality that compliment the neighboring properties in the vicinity, as the design features a modern style with smooth stucco, metal standing seam roofing and metal frame windows. Additional features include a statement entryway with a clearstory above the front door and skylights throughout the residence.

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to construct a silhouette of the proposed one-story addition to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment 2). Additionally, staff conducted a site visit and left business cards for the neighboring properties at 5401, 5402, 5406, and 5409 Paseo de Pablo. Staff has not received any correspondence or objections as of the preparation of this report.

CONCLUSION

In judgement of staff, the proposed one-story residence conforms to the planning and design provisions of the Hillside Overlay and would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. The project, as conditioned, has been designed to minimize potential impacts to neighboring properties by matching the existing roof height of 15'-11", converting existing garage space, and placing the proposed addition strategically to decrease potential impacts to neighboring properties. The project is compatible with surrounding homes and is an appropriate use for this neighborhood. The subject request also complies with the objective development standards of the R-1 Zone and is consistent with the Low-Density Residential land use designation. Staff recommends approval of the project, as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 5). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 25, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-045
2. Location and Zoning Map
3. Hillside Overlay Substantiation
4. Silhouette Certification
5. Code Requirements
6. Project Plans

STAFF CONTACT

Natalie Niemeyer, Planning Associate
NNiemeyer@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 8D
ATTACHMENT 1

Resolution No. 24-045

PLANNING COMMISSION RESOLUTION NO. 24-045

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A ONE-STORY ADDITION TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 5405 PASEO DE PABLO.

PRE24-00002: ROBERT RIBLETT (ANGELA DANIELS)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on August 7, 2024, to consider an application for a Precise Plan of Development filed by Robert Riblett (Angela Daniels) to allow a one-story addition to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 5405 Paseo de Pablo; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 5405 Paseo de Pablo (APN 7532-017-006);
- b) That the property is described as Lot 95 of Tract 22024 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That in residential zones, additions to a one-story single-family residence are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15301 (Existing Facilities);
- d) That the proposed residence, as conditioned, complies with the objective development standards of the R-1 Zone and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That the proposed residence, as conditioned, will not have a substantial adverse impact upon the view, light, air, and privacy of other properties in the vicinity because the one-story residence has been designed below the maximum building height allowed for a one-story residence and exceeds the setbacks requirements;
- f) That the proposed residence, as conditioned, has been located, planned and designed so as to cause the least intrusion on the views, light, air, and privacy of other properties in the vicinity because the project exceeds open space requirements and is below the maximum allowable lot coverage;
- g) That the design of the proposed residence, as conditioned, provides an orderly and attractive development in harmony with other properties in the vicinity because the architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest and the proposed exterior design elements are in keeping with the architecture and finishes of neighboring properties;

- h) That the design of the proposed residence, as conditioned, will not have a harmful impact upon the land values and investment of other properties in the vicinity because the proposed residence will be constructed of high quality materials that will enhance the existing property;
- i) That granting such application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because a single family residence is an appropriate use for this property and the proposed residence, as conditioned, has been designed so as to limit potential adverse impacts to view, light, air, and privacy;
- j) That the proposed residence, as conditioned, would not cause or result in an adverse cumulative impact on other properties in the vicinity because the remodeled residence conforms to the Low Density Residential Designation of the Land Use Element of the General Plan of the City of Torrance and the residence has been designed to limit potential adverse impacts to view, light, air, and privacy;
- k) That denial of such an application would result in an unreasonable hardship to the applicant as the home meets or exceeds the development standards, and has been designed to minimize view, light, air, and privacy impacts to neighboring properties, and is in harmony with existing development throughout the neighborhood; and
- l) That granting the application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because the proposed first story additions to an existing one-story single family residence comply with all applicable development standards including setbacks, lot coverage and floor area ratio requirements;

WHEREAS, the Planning Commission by the following roll call vote APPROVED PRE24-00002, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PRE24-00002 filed by Robert Riblett (Angela Daniels) to allow a one-story addition to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 5405 Paseo de Pablo, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in Precise Plan of Development 24-00002 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;

3. That the maximum height of the residence at the highest point of the roof shall not exceed 15'-11" based on the proposed lowest adjacent grade of 92.82' located at the front of the residence, based on a benchmark elevation of 92.94' located at the southeast corner of the property on the public right of way as shown on the official survey map on file in the Community Development Department. The final height of the proposed residence shall be certified by a licensed surveyor/engineer prior to requesting a framing of roof-sheathing inspection who verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
4. That a copy of Planning Commission Resolution No. 24-045 shall appear on the building plans associated with the Precise Plan of Development to facilitate coordination and effective implementation of the conditions of approval; (Planning)
5. That the average front yard setback calculation and front yard landscaping percentage shall be included on the Building set of plans; (Planning)
6. That the applicant shall continue to work with staff to final BLD21-03019; (Planning)
7. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
8. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
9. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, and adopted this 7th day of August 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 7th day of August 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8D
ATTACHMENT 2

Location and Zoning Map

ITEM 8D
ATTACHMENT 3

Hillside Overlay Substantiation



City of Torrance, Community Development Department, Planning Division
3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Hillside Overlay Substantiation Form

Pursuant to Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant approval of a Precise Plan of Development for residential and commercial development on properties located within the Hillside and Local Coastal Overlay.

Applicants requesting a Precise Plan of Development must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the approval.

1. PLANNING AND DESIGN (SECTION 91.41.6)

- a) **The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity based on the following:**

The existing building is one story built as is typical of the 1950's housing stock, while the building will be expanded and the roof re-framed to current building code standards it will remain as a one-story building meeting all current setback requirements and will have no adverse impact on other properties in the vicinity. Sightlines from adjacent properties are negligible due to the relative level condition of the topography both side to side and across the street. The properties to rear are down the hill and are not impacted.

- b) **The proposed development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity based on the following:**

Same as above, all new work meets zoning code standards, overall building height is not being increased, there are no view impacts as the surrounding topography is relatively consistent from side to side and across the street, rear properties are situated much lower due to slope, new roofs are situated lower than the main ridge line.

- c) **The design of the proposed development provides an orderly and attractive development in harmony with other properties in the vicinity based on the following:**

The intent of the design is to create what would appear to be a new home that blends in with the varying architecture that exists within the neighborhood, this is a high-quality project with a high level of detailing and materials

d) The design of the proposed development will not have a harmful impact upon the land values and investment of other properties in the vicinity based on the following:

We feel that providing an attractive contemporary design will only enhance the land values and investment of other properties in the area. The neighborhood is in a transitional state with many, many homes being expanded and/or remodeled. The property values in the neighborhood are increasing as a result and this project should be nothing short of a benefit to all property owners

e) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity based on the following:

Granting this application will not be materially detrimental to the public welfare and to other properties in the vicinity because we are proposing to create a home that sits in well within the context of the surrounding properties and meets the city's intent for development within the Hillside Overlay District

f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity based on the following:

Again, the proposal is very consistent with the surrounding properties and would only add to the value of other properties in the area

2. LIMITATION ON INCREASES IN HEIGHT (SECTION 91.41.10)

This section must be completed if any part of the existing building would increase in height.

a) It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height based on the following circumstances:

Expanding the footprint requires that the roof expands as well, the existing ridge is 15'-11" as measured from the lowest adjacent grade, there is no increase in the overall ridge height but due to some aesthetic considerations we are proposing to fill the existing Dutch gable roofs to create clean rake rooflines, this entails extending the existing ridge to the west and east slightly, continuing the existing roof height. The proposed ridge at the new garage and entry are below the existing ridge line but do exceed the 14' maximum height slightly.

b) Denial of the Precise Plan of Development would result in an unreasonable hardship to the applicant for the following reason(s):

Denial of this application would constitute an unreasonable hardship as a cohesive and aesthetically pleasing re-design would not be possible without modifying some of the existing rooflines.

c) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

Granting this application would not be materially detrimental to the public welfare and to other properties in the vicinity as all new work fully complies with current zoning requirements and is very complimentary to the neighborhood in general

3. LIMITATION ON INCREASES IN BUILDING SPACE LOT COVERAGE (SECTION 91.41.11)

This section must be completed if the addition would increase the net interior floor area of the existing building so that it exceeds 50% of the lot area, except for commercial uses in a commercial zone.

a) Denial of the Precise Plan of Development would constitute an unreasonable hardship to the applicant for the following reason(s):

N/A

b) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

N/A

ITEM 8D
ATTACHMENT 4

Silhouette Certification



City of Torrance, Community Development Department, Planning Division
 3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Hillside Overlay Silhouette Certification

I, the undersigned, surveyed the silhouette located at 5405 PASEO DE PABLO (7532-017-006)
STREET ADDRESS ASSESSOR PARCEL NUMBER

on 1-16-2024, based on the project plans submitted to the City of Torrance
DATE OF SURVEY

by ROBERT RIZZET arch. fecb on 2/16/24
NAME OF PROJECT APPLICANT DATE OF APPLICATION SUBMITTAL

The survey was taken from a benchmark located at L&T RCE 30826 @ SOUTHEAST P.C.
LOCATION OF BENCHMARK

which established a base elevation of 92.94
BASE ELEVATION

The highest point of the silhouette was determined to have an elevation of 108.71
HIGHEST ELEVATION POINT OF SILHOUETTE

The project plans indicate the highest point should have an elevation of 108.71
HIGHEST ELEVATION POINT OF PROJECT PLANS

The existing lowest adjacent grade was determined to have an elevation of 92.82
EXISTING LOWEST ADJACENT GRADE

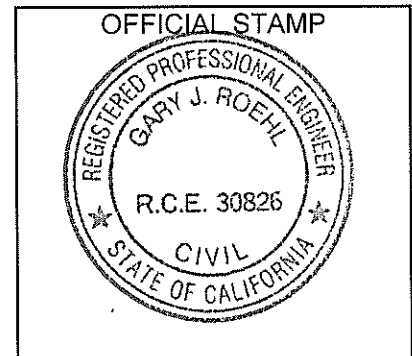
The project plans indicate the lowest adjacent grade should have an elevation of 92.82
PROPOSED LOWEST ADJACENT GRADE

I, the undersigned, hereby certify that the silhouette located at the above-referenced site was constructed and/or surveyed under my supervision and found to be in conformance (± 3 inches) with the design, height, and location shown on the project plans submitted to the Community Development Department and the attached silhouette plan, and that the silhouette was constructed in accordance with the City of Torrance silhouette standards.

[Signature] 2-28-2024
SIGNATURE OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER DATE OF SIGNATURE

GARY J. ROEHL R.C.E. 30826
PRINT NAME OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER LICENSE NUMBER

OFFICE@DENN.COM 310-542-9433
EMAIL ADDRESS TELEPHONE NUMBER



FOR STAFF USE ONLY – DO NOT COMPLETE BELOW		
PLANNING RECORD NUMBER(S) <u>PRE24-00002</u>		DATE STAMP RECEIVED <u>FEB 27 2024</u>
REVIEW COMPLETED BY <u>N. Niemeyer</u>	REVIEW COMPLETED DATE <u>7/25/24</u>	
STAFF DETERMINATION <input checked="" type="checkbox"/> COMPLETE SILHOUETTE CERTIFICATION <input type="checkbox"/> INCOMPLETE SILHOUETTE CERTIFICATION		

PASEO DE PABLO



N12°20'41"E 133.58'

LOWEST ADJACENT GRADE ELEVATION = 92.82



HIGHEST FLAGGED RIDGE ELEVATION = 108.71 MATCH EXISTING

BENCHMARK SET L&T RCE 30826 2.00' S'LY OF CORNER ON PROPERTY LINE PROD. L&T ELEV - 92.94

N77°59'17"W 62.02'

N80°17'34"W 62.09'

N12°20'41"E 136.44'

ITEM 8D
ATTACHMENT 5
Code Requirements

Code Requirements

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 CBC, CMC, CEC, CPC & CGBC.

ENGINEERING

2. Replace grinded sidewalk on Paseo De Pablo along the property frontage per City of Torrance standards.

ENVIRONMENTAL

3. Bedroom sizes to be as determined per Torrance code (92.20.2).
4. The front yard of any property zoned for residential use shall not be more than 50%-paved per Torrance code (92.5.14).
5. Water heater shall not encroach into the required parking area.
6. The washer and dryer shall not encroach into the required parking area.
7. The property shall be landscaped prior to final inspection per Torrance code (92.21.9).
8. For residential uses, the interior dimensions of a two-car garage shall be 18 ft. wide x 20 ft. deep with no encroachments per Torrance code(93.5.2).

PUBLIC WORKS

9. Install a street tree in the City Parkway on Paseo de Pablo every 50' for the width of this lot. (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.

ITEM 8D
ATTACHMENT 6

Project Plans

RESIDENTIAL ADDITION + REMODEL FOR:

Alex & Angela Daniels
5405 Paseo De Pablo
Torrance, CA 90505
(310) 538-1577

LEGAL DESCRIPTION:

TRACT # 22024 LOT 95
M.B.: 583-39-46
A.P.N.: 7532-017-006

ZONING:

Zone R-1 Hillside Overlay District

OCCUPANCY + TYPE OF CONSTRUCTION:

R-3/U; Type V-B one story residence with attached two car garage

SCOPE OF WORK:

Convert garage into living space 436 sq. ft.
New front facing 2 car garage 420 sq. ft.
Living Room + Entry Additions 131 sq. ft. new floor area
Interior Remodeling

ZONING REQUIREMENTS:

Front Setback: 20' average/15' min (20' front facing garage)
Rear Setback: 15' average/10' min (one story)
Side Setbacks: 5'-0"
Lot Area (irregular) = 8,370 sq. ft. (per assessor)
Max F.A.R. = 6 sq. ft. = 5,022 sq. ft.
Max Lot Coverage 50% = 4,185 sq. ft.
Open Space 1/3 lot area = 2,790 sq. ft.
Parking: 2 car enclosed 18'x20' clear dimensions
Height Limit: 14' (existing = 15'-11")

EXISTING FLOOR AREAS:

LIVING AREA	1,972 sq. ft.
GARAGE	436 sq. ft.
EXISTING FLOOR AREA	2,408 sq. ft.

ADDITIONS:

LIVING AREA ADDED	131 sq. ft.
COVERED GARAGE INTO LIVING SPACE	420 sq. ft.
NEW 2 CAR GARAGE GARAGE	420 sq. ft.

PROPOSED FLOOR AREAS:

LIVING AREA	2,539 sq. ft.
GARAGE	420 sq. ft.
PROPOSED FLOOR AREA	2,959 sq. ft.

LOT AREA / COVERAGE / OPEN SPACE:

LOT AREA (per Assessor)	8,370 sq. ft.
50% MAXIMUM LOT COVERAGE	4,185 sq. ft.
EXISTING LOT COVERAGE (includes 3 sided porch 33 sq. ft.)	2,441 sq. ft./29%
PROPOSED LOT COVERAGE (includes 3 sided porch 74 sq. ft.)	3,033 sq. ft./36%
1/3 OPEN SPACE REQUIRED	2,790 sq. ft.
FRONT YARD OPEN SPACE	1,755 sq. ft.
REAR YARD OPEN SPACE	2,851 sq. ft.
OPEN SPACE PROVIDED	4,606 sq. ft.

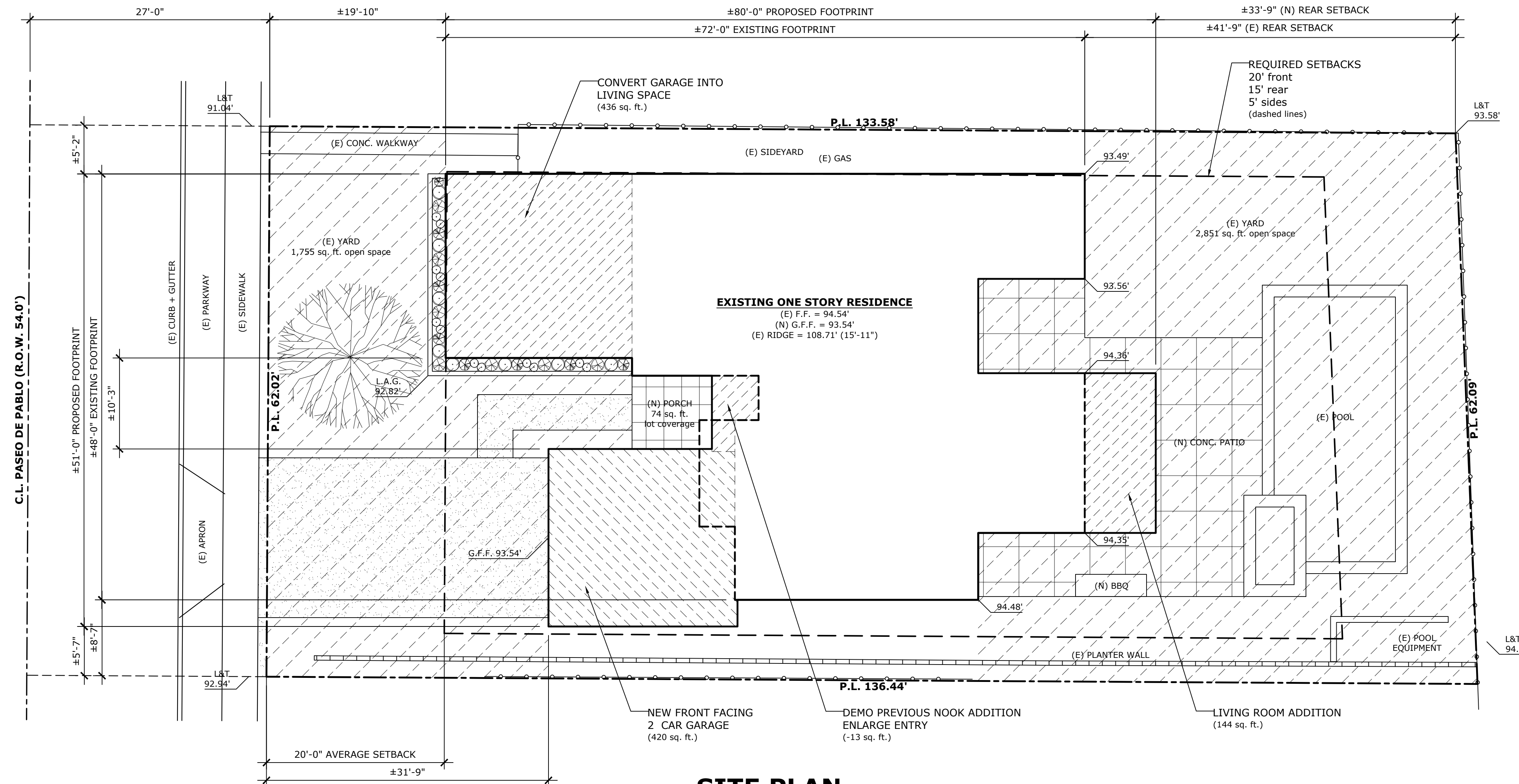
ARCHITECTURE:

Robert Riblett architect #C25170
1707 Via El Prado #202
Redondo Beach, CA 90277
(310) 850-8567

SHEET INDEX:

- A-1.0 SITE PLAN + PROJECT DATA
- A-2.0 EXISTING FLOOR PLAN
- A-3.0 PROPOSED FLOOR PLAN
- A-3.1 ROOF PLAN
- A-4.0 SOUTH + EAST ELEVATIONS
- A-4.1 NORTH + WEST ELEVATIONS
- DENN SURVEY

TOTAL SHEETS: 7



SITE PLAN

1/8" = 1'-0"

SITE PLAN

A-1.0

2.15.2024

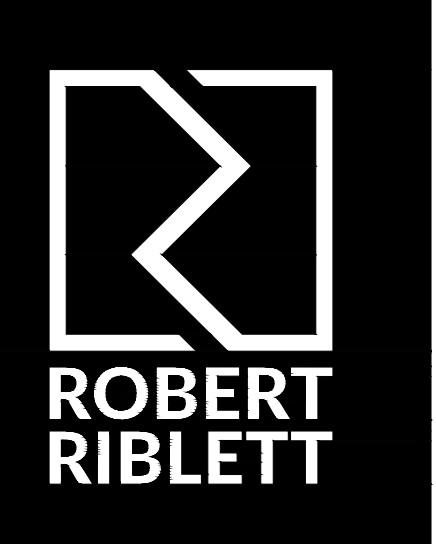
DANIELS RESIDENCE
5405 Paseo De Pablo, Torrance

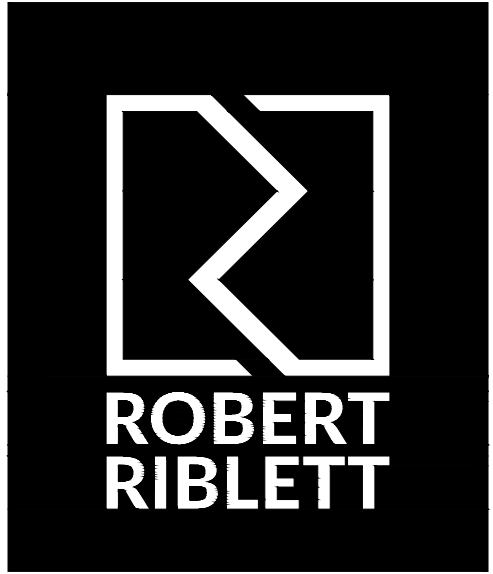
ARCHITECT

robert@robertriblett.com

(310) 850-8567

www.robertriblett.com

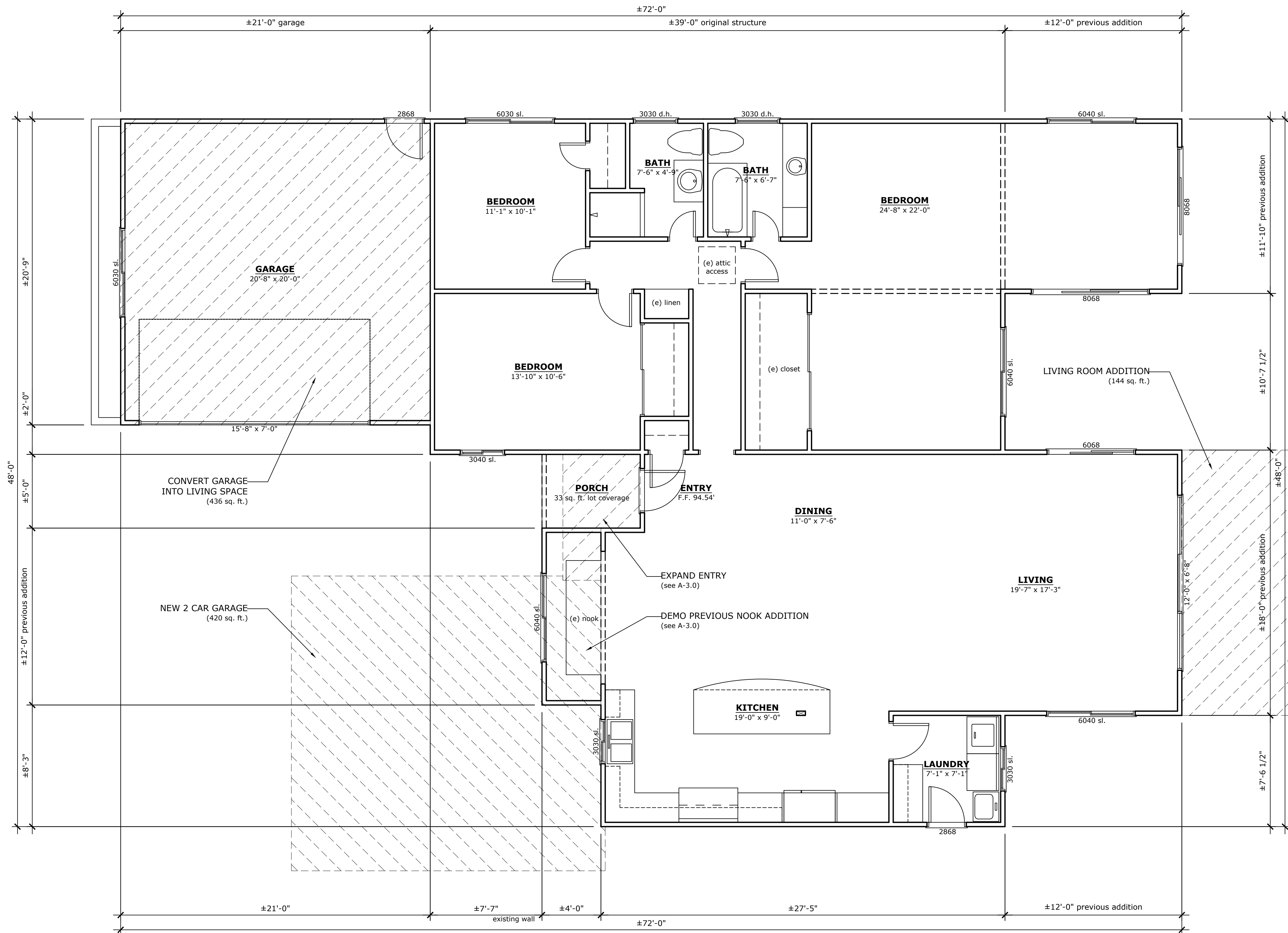




ARCHITECT

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DANIELS RESIDENCE
5405 Paseo De Pablo, Torrance



EXISTING FLOOR PLAN

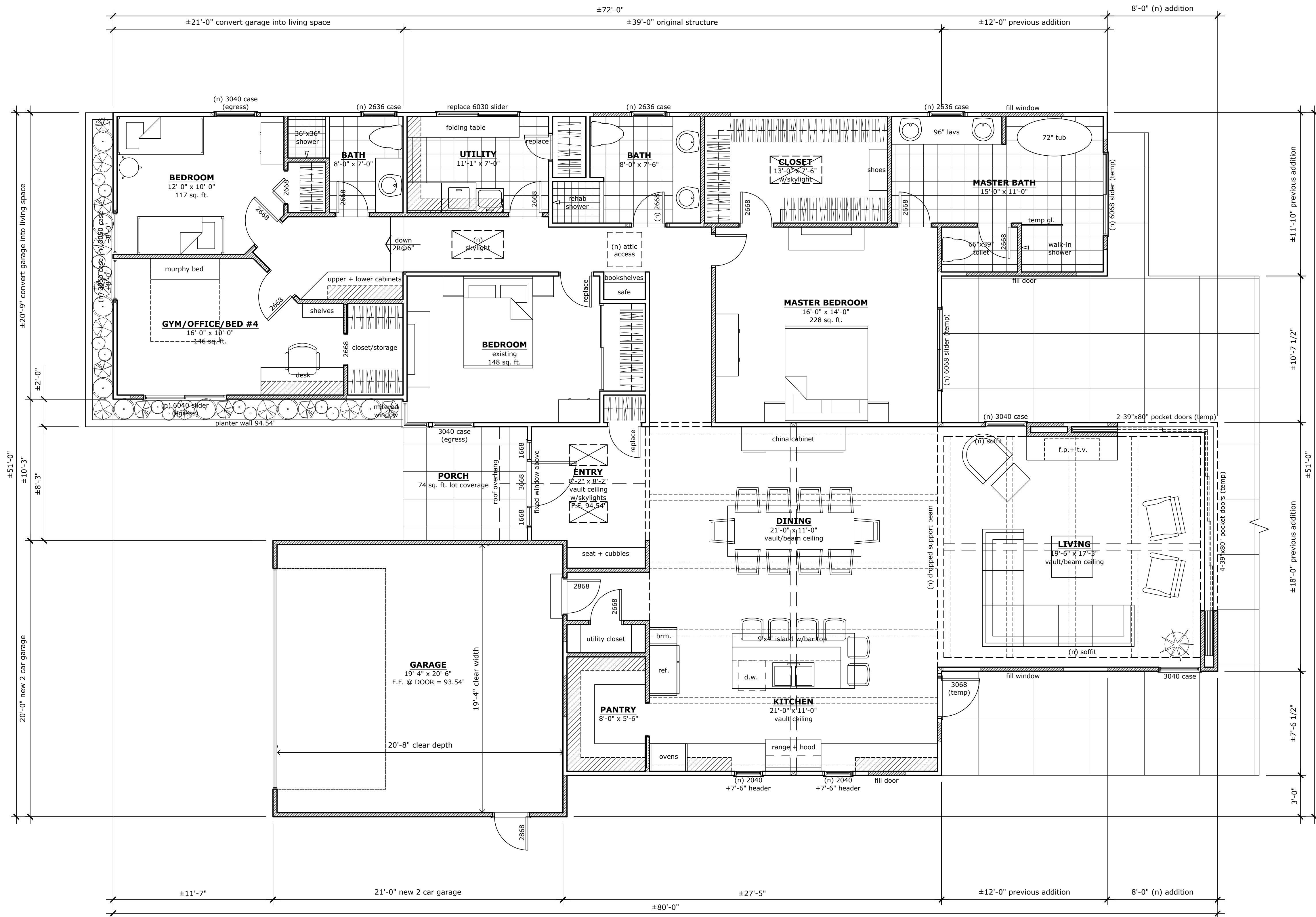
1/4" = 1'-0"

LIVING AREA	1,972 sq. ft.
GARAGE	436 sq. ft.
TOTAL FLOOR AREA	2,408 sq. ft.

EXISTING FLOOR PLAN

A-2.0

2.15.2024


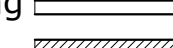


PROPOSED FLOOR PLAN

1/4" = 1'-0"

LIVING AREA	2,539 sq. ft.
GARAGE	420 sq. ft.
TOTAL FLOOR AREA	2,959 sq. ft.

WALL LEGEND:

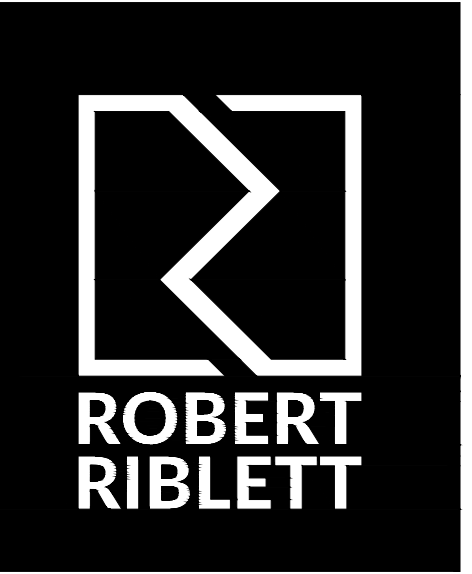
existing 
new 

DANIELS RESIDENCE
5405 Paseo De Pablo, Torrance

PROPOSED FLOOR PLAN

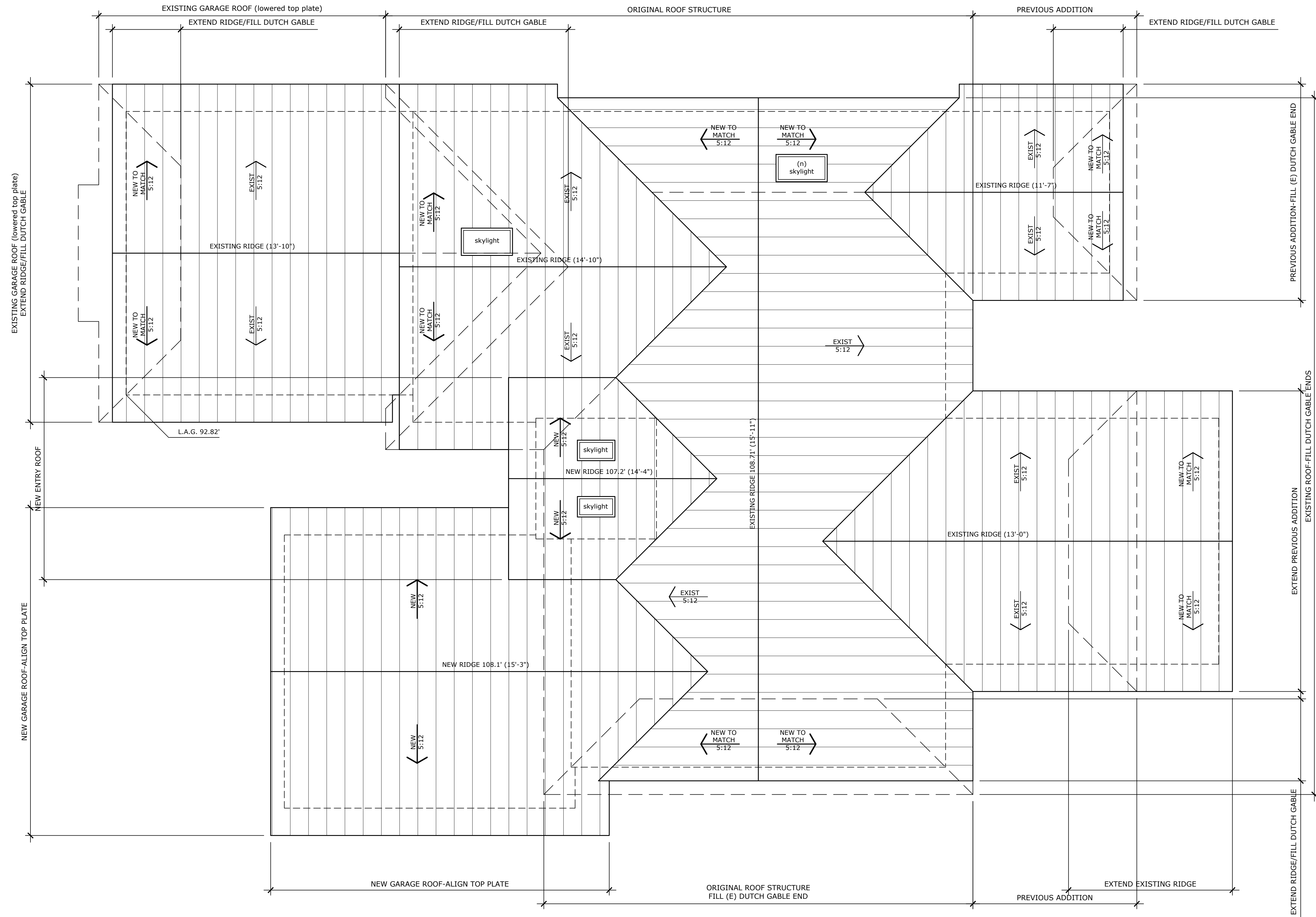
A-3.0

2.15.2024



ARCHITECT

robert@robertriblett.com
(310) 850-8567
www.robertriblett.com



ROOF PLAN

1/4" = 1'-0"

ROOF PLAN NOTES:

ROOFING: metal standing seam roofing o/approved underlayment
'Berridge' ICC-ES ESR-3486 color to be determined
5:12 typical slope

EAVES: stucco eaves w/2x8 fascia; 24" eave overhang; 12" rake overhang typical
with GI gutters and downspouts connected to yard drainage system

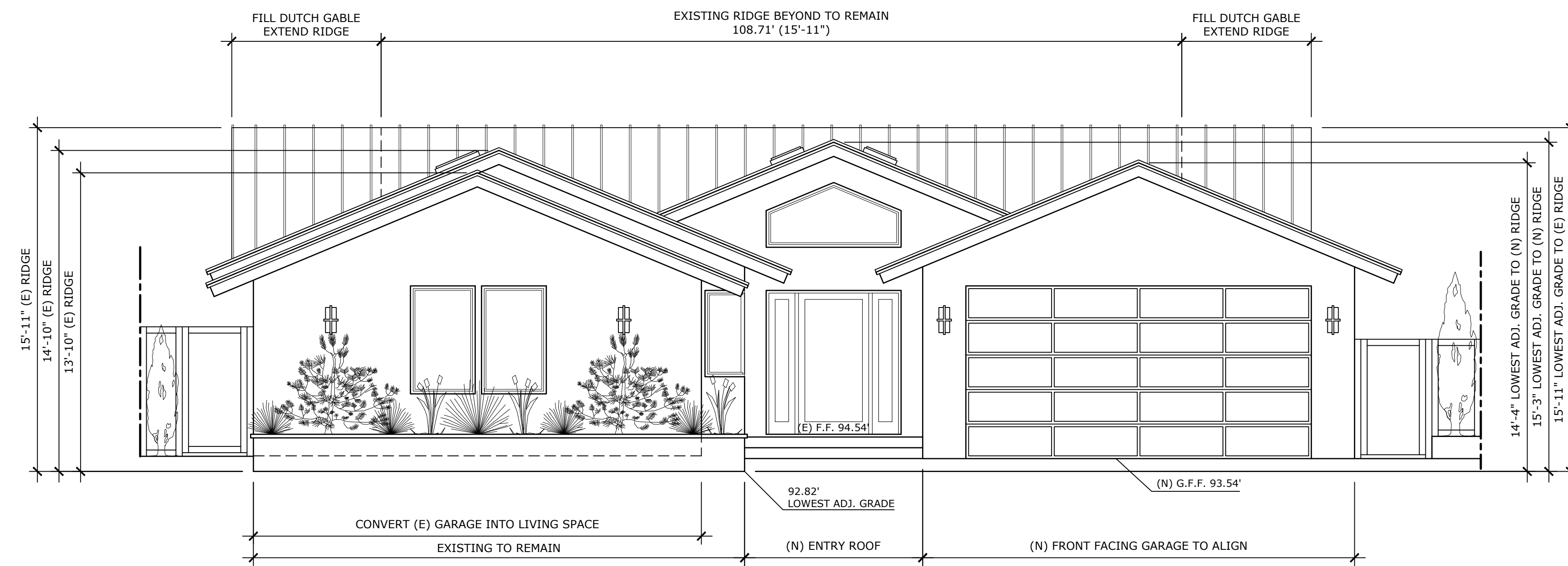
SKYLIGHTS: 'Velux' flat/laminated glass mounted on a 4" curb (ICC ESR-4108)

DANIELS RESIDENCE
5405 Paseo De Pablo, Torrance

ROOF PLAN

A-3.1

2.15.2024



TYPICAL EXTERIOR MATERIALS:

ROOFING: metal standing seam roofing o/approved underlayment
'Berridge' ICC-ES ESR-3486 color to be determined
5:12 typical slope

EAVES: stucco eaves w/2x8 fascia
24" eave overhang
12" rake overhang typical
with GI gutters and downspouts connected to yard drainage system

EXTERIOR FINISH: smooth finish stucco

WINDOWS + DOORS: 'Otiima' metal frame/dual glaze

SKYLIGHTS: 'Velux' flat/lam/solar glass mounted on a 4" curb
(ICC ESR-4108)

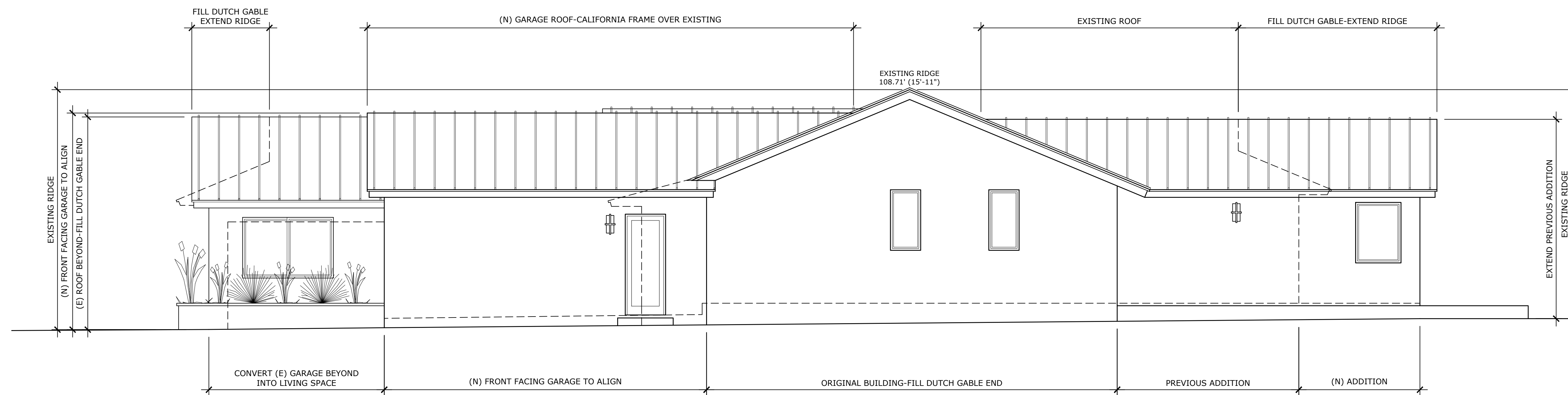
PLANTER WALLS: stucco to match w/stone cap

PROPERTY LINE WALLS: existing to remain (see Site Plan)

WEEP SCREED: required 4" min. above adj. finish grade

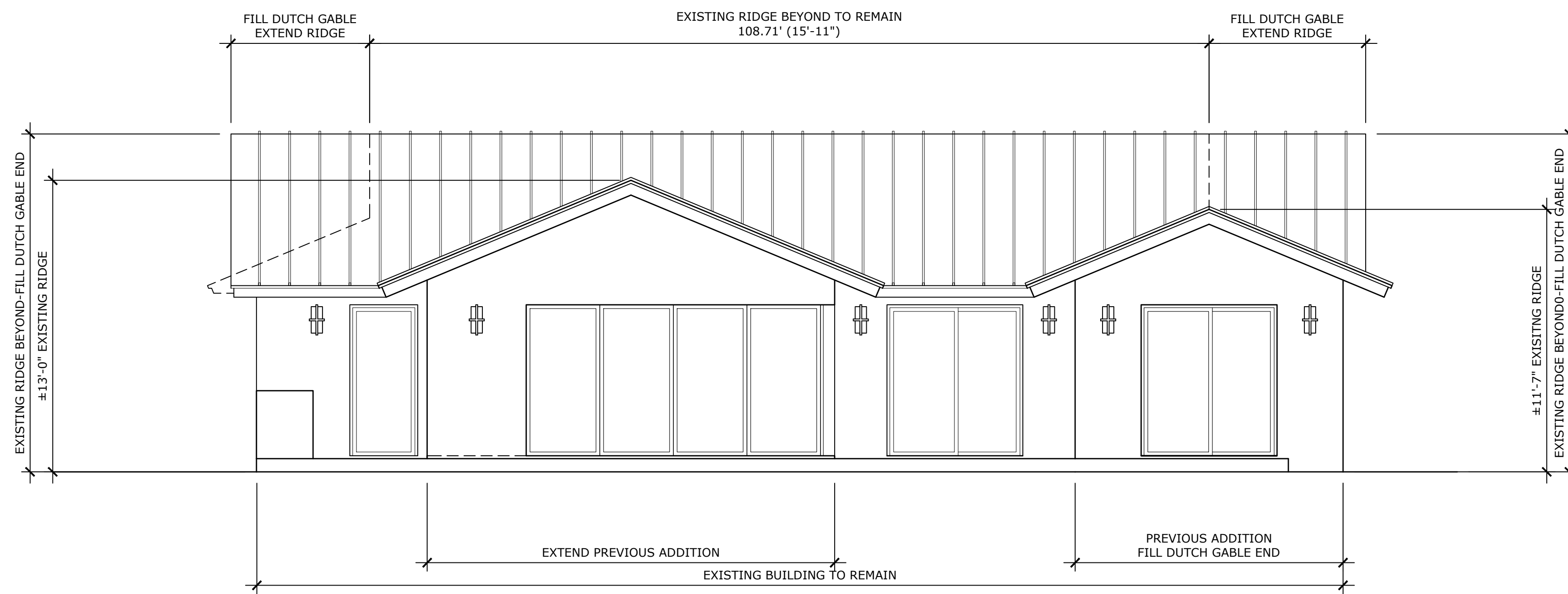
SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

TYPICAL EXTERIOR MATERIALS:

ROOFING: metal standing seam roofing o/approved underlayment
'Berridge' ICC-ES ESR-3486 color to be determined
5:12 typical slope

EAVES: stucco eaves w/2x8 fascia
24" eave overhang
12" rake overhang typical
with GI gutters and downspouts connected to yard drainage system

EXTERIOR FINISH: smooth finish stucco

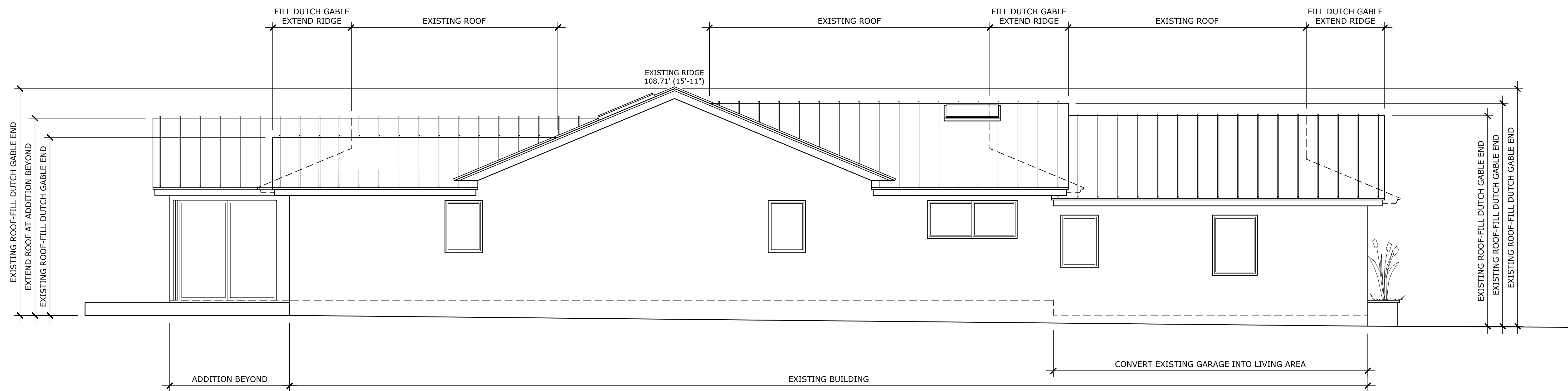
WINDOWS + DOORS: 'Otiima' metal frame/dual glaze

SKYLIGHTS: 'Velux' flat/lam/solar glass mounted on a 4" curb
(ICC ESR-4108)

PLANTER WALLS: stucco to match w/stone cap

PROPERTY LINE WALLS: existing to remain (see Site Plan)

WEEP SCREED: required 4" min. above adj. finish grade



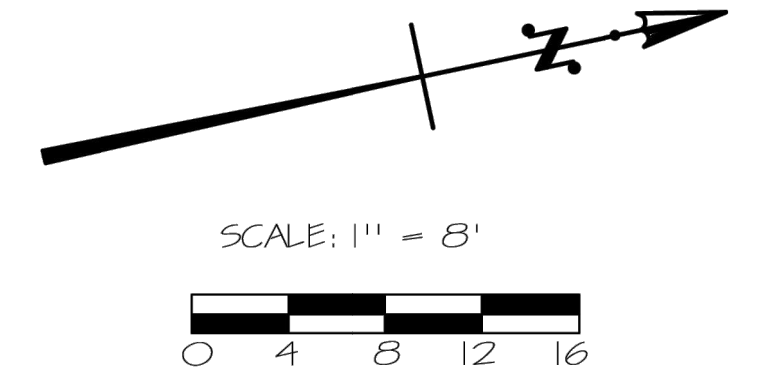
WEST ELEVATION

1/4" = 1'-0"

TO PD SPK @ P.I.

PASEO DE PABLO

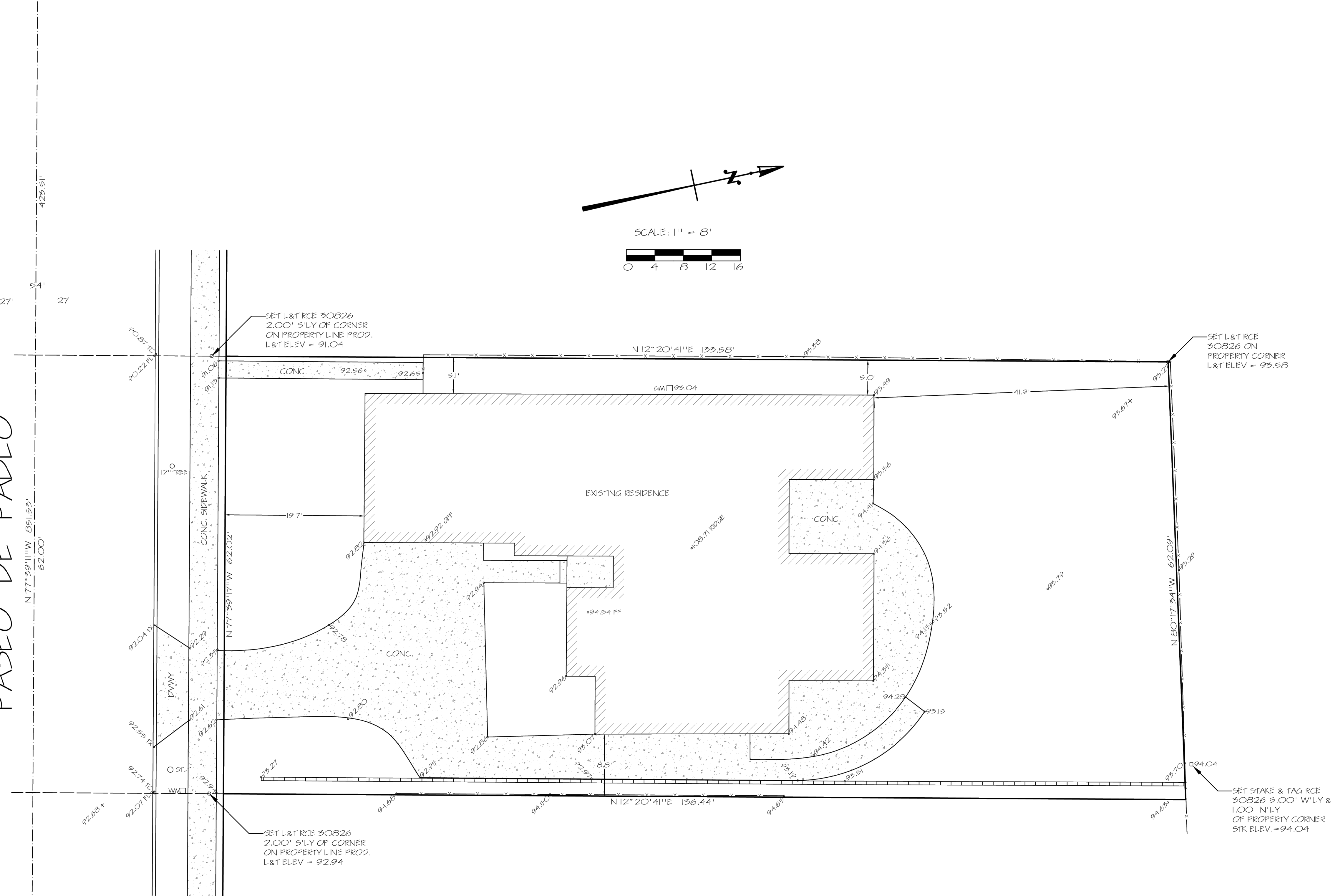
TO PD SPK @ P.I.



LEGEND	
	EXISTING BUILDING
	CONCRETE
	BRICK
	WOOD DECK
	+106.76 EXISTING ELEVATION
	EXISTING CONTOUR
	BLOCK WALL
	EXISTING FENCE
	BCR BEGINNING OF CURB RETURN
	E'LY EASTERLY
	FD FOUND
	FF FINISH FLOOR
	FL FLOW LINE
	OFF GARAGE FINISH FLOOR
	GW GUY WIRE
	L&T LEAD AND TAG
	MH MANHOLE
	N'LY NORTHERLY
	PC PROPERTY CORNER
	PL P/L PROPERTY LINE
	PP POWER POLE
	S&W SPIKE AND WASHER
	S'LY SOUTHERLY
	SPK SPIKE
	STK STAKE
	TC TOP OF CURB
	TW TOP OF WALL
	TX TOP OF DRIVEWAY APRON
	W'LY WESTERLY
	WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.



JOB ADDRESS
 5405 PASEO DE PABLO
 TORRANCE, CA

LEGAL DESCRIPTION
 LOT 95
 TRACT NO. 22024
 M.B. 583-39-46
 APN 75932-017-006

SURVEY & TOPOGRAPHY	
FOR ALEX DANIELS 2118 PULLMAN LANE REDONDO BEACH, CA 90278 (310) 374-9030	
DRAWN BY: G.R.	CHECKED BY: T.S.
DATE: 6-07-07	REVISED:
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.	

GARY J. ROEHL R.C.E. 30826	
DENN ENGINEERS	
JOB NO. 07-297	SHEET 1
5914 DEL AMO BLVD, SUITE 92 • TORRANCE, CA 90505 • (310) 542-9433	