

2.2 Use and Development Standards

This section establishes the use and development standards applicable to the various sub-area zones within the Housing Corridor Overlay. These development standards apply to new development within the HCO, as well as to existing residential properties that can be re-developed or renovated to compliance standards. Additional regulations and references to the Torrance Municipal Code are also noted in the right-hand column of the table.

Allowable Uses

Table 2-1 establishes the allowable uses within the HCO. All uses which are permitted or conditionally permitted within the underlying base zoning district remain permitted or conditionally permitted respectively, unless noted here. The primary uses allowed within the HCO are residential, while supportive non-residential uses are also allowed in horizontal and vertical mixed-use developments in the sub-areas identified in Section 2.1 exhibits.

Table 2-1 - Allowable Uses				
<i>Permitted by-right (P)</i> <i>Permitted with a Minor Use Permit (M)</i> <i>Permitted with a Conditional Use Permit (C)</i>				
	Sub-Area 1	Sub-Area 2	Sub-Area 3	Additional Regulations/ Notes
All mixed-use projects shall dedicate at least 10 percent of the gross floor area for non-residential uses.				
Residential				
Multiple Family Residence	P	P	P	
Single Family Residence	P	P	P	
Two Family Residence	P	P	P	
Senior Citizen Housing	P	P	P	

Table 2-1 - Allowable Uses				
Permitted by-right (P) Permitted with a Minor Use Permit (M) Permitted with a Conditional Use Permit (C)				
	Sub-Area 1	Sub-Area 2	Sub-Area 3	Additional Regulations/ Notes
Eating and Drinking Establishments				
Restaurants, Class I (full service)	C	C	C	Beer and wine with full-service restaurants is conditionally permitted.
Restaurants, Class II (fast-food)	M	M	M	Drive-through restaurants not permitted.
Restaurants, Class III (take-out)	M	M	M	Drive-through restaurants not permitted.
Restaurants, Class IV (limited service, bakery, coffee, deli, dessert shop)	M	M	M	Drive-through restaurants not permitted.
Offices				
Offices, Professional	P	P	P	
Offices, Medical or Dental	P	P	P	
Retail Trade	P	P	P	
Service Uses				
Banks, Credit Unions, and Financial Services	P	P	P	
Personal Services	P	P	P	
Personal Improvement Services	P	P	P	
Veterinary Clinics and Animal Hospitals	P	P	P	Overnight boarding not permitted.

Development Standards

Table 2-2 establishes basic development standards for projects within the Housing Corridor Overlay.

Table 2-2 - Development Standards Summary				
	Sub-Area 1	Sub-Area 2	Sub-Area 3	Additional Regulations/ Notes
Density				
Minimum	9.1 du/ac	20 du/ac	31.1 du/ac	<i>Property within Sub-Area 1 and located on Illinois Court shall be limited to 9.1-18 dwelling units per acre.</i>
Maximum	31 du/ac	44 du/ac	44 du/ac	
Maximum Building Height	35 feet. Buildings within 50 feet of an abutting R-1 District are limited to 27 feet (2-stories)	50 feet	75 feet; floors greater than 50 feet shall be stepped back 5 feet on all sides of the facade. Buildings within 50 feet of an abutting R-1 District are limited to 27 feet (2-stories)	<i>Height of parking structures shall comply with building height limitations. The following structures are allowed to exceed the established building height limit: skylights, chimneys, flagpoles, rooftop open space features (such as trellises and sun shades), elevator and stair towers, decorative features (such as spires, bell towers, cupolas, obelisks, and monuments), fire escapes and catwalks required by law, solar panels, building-mounted antennas and telecommunication facilities, and utilities.</i>

Table 2-2 - Development Standards Summary

	Sub-Area 1	Sub-Area 2	Sub-Area 3	Additional Regulations/ Notes
Minimum Yard Setbacks				
Front Yard	10 feet	5 feet	5-10 feet; or 20 feet if adjacent to R-1 District	<i>Encroachments such as decks, patios, and eave overhangs shall comply with the provisions of Division 9, Article 5 (Yards) of the Torrance Municipal Code.</i>
Side Yard	5 feet; or 10 feet where the side yard property line is adjacent to a property in the R-1 District	10 feet	10 feet	
Rear yard	5 feet; or 20 feet if adjacent to R-1 District	10 feet; or 5 feet if adjacent to alley; or 20 feet if adjacent to R-1 District	10 feet; or 20 feet if adjacent to R-1 District	
Internal Drive Aisle	5 feet	5 feet	5 feet	<i>Internal drive aisle requirement does not apply to motorcourts or other internal drive aisles that provide access to parking.</i>
Minimum Street Frontage	None	A lot shall have a minimum street frontage of 100 linear feet along a street. Corner lots are only required to meet this standard for one street.		
Minimum Usable Open Space	150 sq. ft. per dwelling unit, 60 sq. ft. of which must be private open space. Usable open space may include areas such as recreation rooms and gyms, barbecue and picnic areas, swimming pools, gardens, community clubhouses, etc. Areas such as driveways, parking spaces and aisles, and loading zones are specifically excluded from counting towards open space.			<i>These minimum requirements replace the provisions of Division 9, Chapter 1 (Purpose – Districts Established).</i>

Minimum Unit Sizes

Table 2-3 establishes the following minimum unit sizes for residential units within the HCO. These minimum unit sizes replace the standards established by Division 9, Article 20 (Living Areas) of the Torrance Municipal Code.

Table 2-3 - Minimum Unit Sizes				
	Sub-Area 1	Sub-Area 2	Sub-Area 3	Additional Regulations
Studio Unit	450 sq. ft.			<i>These minimum unit sizes replace the provisions of Division 9, Article 20 (Living Areas) of the Torrance Municipal Code.</i>
One-bedroom Unit	600 sq. ft.			
Two-bedroom Unit	800 sq. ft.			
Three-bedroom Unit or Greater	1,000 sq. ft.			

Parking Reductions

The number of parking spaces required may be reduced as follows if the Director finds any or all of the following criteria met. Parking reductions are cumulative; all applicable parking reductions may be applied in determining the number of required parking spaces.

- a. **Motorcycle Parking.** Motorcycle parking may substitute for up to five percent of the required parking spaces. Each motorcycle space must be at least four feet wide and seven feet deep, and can accommodate two-wheeled motorized vehicles, including scooters, mopeds, and similar vehicles.
- b. **Electric Vehicle Parking.** Every one (1) electric vehicle parking space shall count towards two parking spaces, up to a total of five (5) percent of the total required parking spaces.
- c. **Mixed-Use Sites.**
 1. Where a shared parking facility serving more than one use will be provided, required residential guest parking spaces may substitute for required commercial parking spaces, or vice versa.
 2. Additionally, shared parking facilities can reduce the required number of parking spaces by 10 percent with Director approval if the below findings are made.
 - i. The peak hours of use will not overlap or coincide to the degree that peak demand for parking spaces from all uses will be greater than the total supply of spaces;
 - ii. The proposed share parking provided will be adequate to serve each use;
 - iii. Parking spaces in the shared parking facility will not be reserved for individual tenants, owners, or their visitors without approval of an overall parking management plan; and
 - iv. A shared parking agreement shall be recorded on the property with the County of Los Angeles, and proof of recordation provided to the City.

Site and Building Design Standards

The following site and building design standards identified below would apply to all properties within the HCO.

- a. Building Form and Hierarchy. Buildings shall be designed to differentiate between a defined base; a middle or body; and a top, cornice, or parapet cap. All buildings shall achieve this effect through at least two of the following:
 1. Color, texture, or material changes.
 2. Variations, projections, or reveals in the wall plane.
 3. Variations in fenestration size or pattern.
 4. Decorative architectural details, such as cornices and columns.



3-Story Massing Example



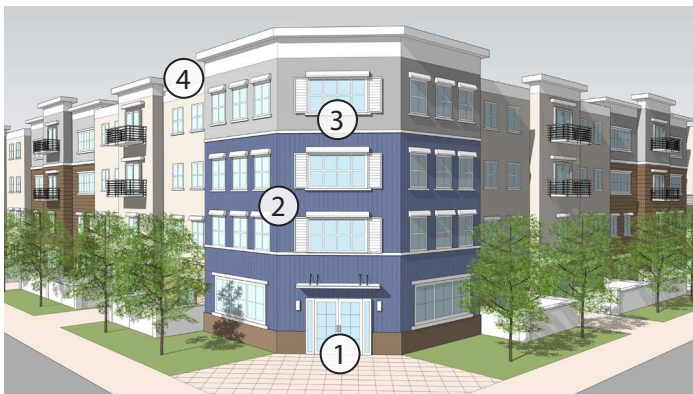
4-Story Massing Example

- b. Wall Plane Variation. Building facades shall not extend more than 50 feet in length without either a two-foot variation in wall plane, architectural element, or other prominent feature that provides visual interest. Building entrances, front porches, and projections such as stoops, bays, overhangs, and trellises may count towards this requirement.



Wall Plane Variation

- c. Four-Sided Architecture. Buildings shall be designed with quality common details, materials, and elements on all sides.
- d. Corner Buildings. Buildings located on the corner of two streets shall include one or more of the following features on both facades, to be located within 25 feet of the corner of the building.
1. A primary building entrance or an entrance to a ground-floor use.
 2. A different material application, color, or finish from the rest of the façade.
 3. A different fenestration pattern of windows and doors from the rest of the façade.
 4. A variation in height at least 18 inches taller or shorter than the height of the abutting façade.



Corner Building with Primary Building Entrance



Corner Building

- e. **Roof Line Variation.** Roof lines shall not extend more than a length of 50 feet without at least one prominent change as described below:
1. Variation in roof form, such as hip, gable, shed, and flat with parapet.
 2. Variation in architectural elements, such as parapets or varying cornices.
 3. Variation of roof height of at least 18 inches.

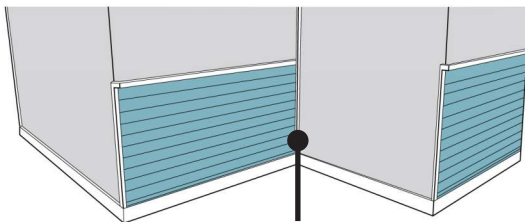


Roof Line Variation

f. **Materials and Colors.**

1. **Wall Material.** The primary exterior wall material for buildings shall be wood, stone, brick, stucco, fiber cement, composite wood or composite stone. Plywood is prohibited.
2. **Material Transitions.** Transitions or changes in material shall occur at the inside corners of intersecting walls or at architectural features that break up the wall plane, such as columns or piers.

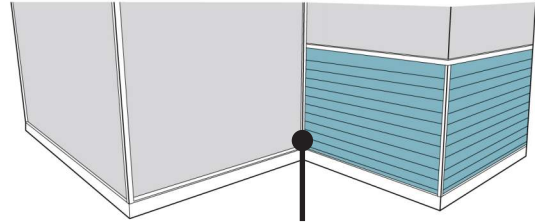
NOT PERMITTED



Changes in material shall not occur at the outside corners or within a wall plane

Material Transition

DO THIS

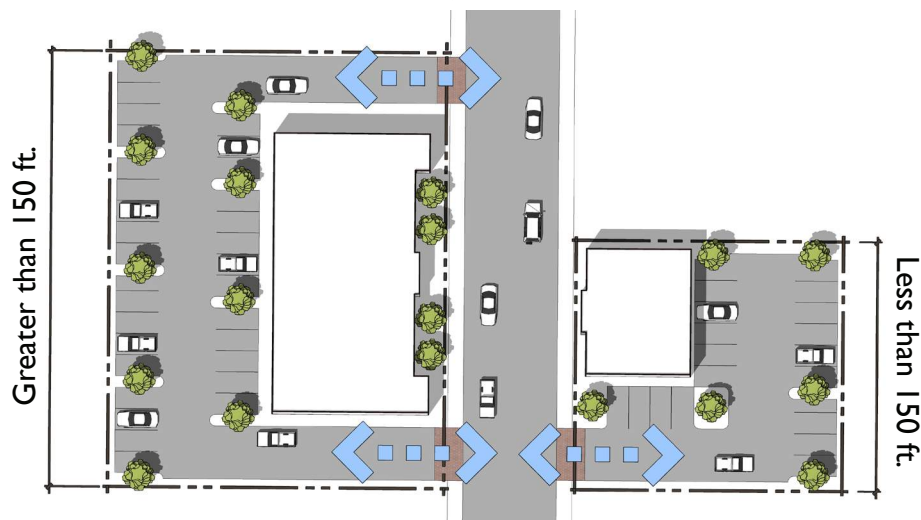


Changes in material shall occur at inside corners of intersecting walls

3. Affordable units and market rate units within the same development shall be constructed of the same materials and details such that the units are not distinguishable from one another in quality and detail.

g. Vehicular Access.

1. Sub-Area 1, Illinois Court. For the purposes of applying setbacks at the property within Sub-Area 1 and located on Illinois Court, Gramercy Place shall be considered the “front” of the site, Illinois Court shall be the “rear”, and the north and south property lines shall be the “sides”. Access to Illinois Court shall be solely limited to emergency vehicle access secured via Knox Box lock with access to Police and Fire and other City Departments as needed.
2. Sub-Area 2, Access Location. Residential developments located in Sub-Area 2 shall not take their primary access directly from Cabrillo Avenue or Border Avenue. Residential developments shall locate their parking in the side or rear of the lot, and surface parking shall not be located directly adjacent to Cabrillo Avenue or Border Avenue right-of-way.



Vehicular Entrance and Access

3. Vehicular Entrance and Access. A project shall have no greater than one (1) vehicle entrance per 150 feet of linear street frontage. If a project is located adjacent to an existing alley, a vehicle entrance/exit shall be provided from the alley.
4. Enhanced Paving for Entrance Driveways. Paving treatment using patterned and/or colored pavers, brick, or decorative colored and/or scored concrete shall be used for entrance driveways into the project, with a minimum of 12 feet deep and spanning the width of the driveway.
5. Vehicle Intrusion into Residential Units. Vehicle parking areas shall be located, oriented, and/or screened to prevent visual intrusion of vehicle lights into residential dwelling units.
6. Parking Structures. Parking structures shall comply with the height and setback standards in the Development Standards Summary Table. Parking structures shall not have a smaller setback distance to the street than any residential or mixed-use building.
 - i. Wall Plane Variation. Parking structure facades shall not extend more than 50 feet in length without either a one-foot variation in wall plane, architectural element, or other prominent feature that provides visual interest.

- ii. Plantings. Every 50 feet in façade length, at least two vertical plantings shall be placed between parking structure openings, entrances, and architectural elements. Plantings shall be evergreen vegetation that will grow to a minimum height equivalent to 50 percent of the height of the parking structure at maturity.
- h. Pedestrian Circulation and Access.
- 1. Pedestrian Connectivity. Pedestrian walkways shall connect residential dwelling units to areas throughout the site, such as vehicle parking areas, bicycle parking areas, open spaces, waste and recycling enclosures, and other areas within the development. Interior pedestrian walkways shall also connect to public sidewalks.
 - 2. Pedestrian Walkway Requirements. Pedestrian walkways shall be provided with a minimum width of four feet along their entire length and shall be constructed of firm, stable, and slip-resistant materials such as poured-in-place concrete, stamped concrete, permeable paving, decomposed granite, or concrete pavers.
 - 3. Pedestrian Crossings. Where a pedestrian walkway intersects with a vehicle access way, enhanced paving treatment using patterned and/or colored pavers, brick, or decorative colored and scored concrete shall be used. Enhanced paving shall be a minimum width of six feet and spanning the width of the driveway.
 - 4. Access to Transit. Projects located near public right-of-way with existing or planned transit stops shall provide pedestrian walkways that connect to a public sidewalk or right-of-way within 100 feet of the transit stop.
- i. Wayfinding. Development sites over two acres in size shall provide internal wayfinding signs with a unified color and font scheme and in compliance with Division 9, Chapter 11 (Signs). Signs shall include:
- 1. Signs indicating each vehicular and pedestrian entrance to the site.
 - 2. Signs indicating direction to primary building entrance, if any.
 - 3. Signs indicating direction to usable open space and parking areas.
- j. Privacy.
- 1. Where windows are proposed within 15 feet of another residential building (within the project or on an adjacent residential property), window design shall avoid unfiltered/direct views into the site and shall be designed with one or more of the following:
 - i. Utilize non-transparent or obscured glazing, such as frosted or patterned glass. Reflective glazing is not permitted.
 - ii. Provide permanent architectural screens or affixed louvers at windows.
 - iii. Offset windows horizontally at least 12 inches from any windows in adjacent buildings (edge to edge), so as not to have a direct line-of-sight into adjacent units.

2. Landscape screening shall obscure direct sight lines into adjacent habitable living and gathering areas and may be used in combination with walls, fencing, and/or trellises to screen views. Where a residential building is within 10 feet of another residential building within the project or on an any adjacent residential property, evergreen trees, shrubs, and vines that grow to a mature height of at least 8 feet shall be placed to screen views.
3. Screening located along side, or rear yards adjacent to a property in the R-1 District shall consist of solid block walls.

Mixed-Use Design Standards

The additional standards identified below apply to mixed-use developments within the HCO.

- a. Ground Floor Height. The ground floor of a mixed-use building shall have a minimum floor height of 15 feet, measured from floor to floor.
- b. Ground Floor Transparency for Non-Residential Uses. Building facades for non-residential uses facing and within 20 feet of any public right-of-way or pedestrian walkway must include windows and doors for at least 50 percent of the building wall area located between three and seven feet in height, measured from the elevation of the public right-of-way.



Ground Floor Transparency for Non-Residential Uses

- c. Street-Facing Entrance. Mixed-use buildings located within 20 feet of a street right-of-way shall incorporate at least one primary building entrance directly from the public sidewalk or right-of-way. Primary building entrances shall include weather protection that is a minimum of six feet wide and four feet deep by recessing the entrance, or providing an awning or other similar element.
- d. Loading and Service Areas. All required loading and service areas shall be located adjacent to a façade other than that of the primary street frontage, and shall not be adjacent to usable open space areas.

Compatibility Standards

The additional compatibility standards identified below are intended to address impacts of the interface between new residential land uses and existing industrial land uses. These serve as “good neighbor” standards for the Housing Corridor Overlay. The compatibility standards apply to residential uses proposed adjacent to existing Industrial zoning districts (Light Manufacturing (M-1), Heavy Manufacturing (M-2), Limited Manufacturing (M-L)) the City of Torrance and Industrial zoning districts of adjacent City or County jurisdictions.

- a. **Property Owner and Tenant Disclosures.** Parcels within 300 feet of an industrial use shall have a disclosure provided upon the sale or transfer of the property deed, and upon the initiation of any property lease to a residential tenant. The disclosure shall include notice of the name of existing business(es), nature of the industrial activity, hours of operation.
- b. **Location and Orientation of Residential Buildings.** Parcels that share a property line with an industrial land use shall mitigate impacts through the following means:
 1. All residential units, residential buildings, private open space, and common open space shall not be located within 10 feet of the property line adjacent to the industrial land use.
 2. Other buildings used for accessory, non-residential uses may be located within 10 feet of the property line, pursuant to the setback standards in the Development Standards Summary table.
- c. **Property Buffer.** Parcels that share a property line with an industrial land use shall provide an adequate buffer between residential use and industrial use through at least one of the following means:
 1. **Required Setback as Landscape Buffer.** Create a landscape buffer in the required setback area (see Development Standards Summary table). The landscape buffer shall contain a mix of dense evergreen shrubs and trees that grow quickly to form an opaque landscape screen that effectively buffers views.
 - i. A minimum of one 15-gallon tree shall be planted per 20 linear feet. Trees in the landscape buffer shall grow to 50% of mature height within two years of installation. Tree height shall be selected to grow to the maximum height of the tallest existing or proposed buildings adjacent to the buffer area.
 - ii. A minimum of five 5-gallon shrubs shall be planted per 20 linear feet. Shrubs in the landscape buffer shall grow to a minimum height of six feet and four feet in width. Shrubs within the buffer area shall be long-lived and durable species and not contain annuals, perennials, or deciduous species.
 - iii. An earthen berm may be used in combination with the required trees and shrubs in order to achieve the desired height of plantings but may not exceed two-thirds of the lowest proposed shrub height and must not impede site drainage.
 2. **Location of Vehicular Access and Parking.** Locate vehicular access and/or parking areas directly next to the property line between the residential use and industrial use.

- d. Noise. New residential land uses shall meet relevant dBA noise levels identified within the City's General Plan Noise Element and Municipal Code Chapter 6, Noise Regulation. If relevant dBA noise levels cannot be met, an acoustic study shall be prepared that identifies noise attenuation measures. Noise attenuation measures identified shall be incorporated into the project to reduce noise impacts to levels satisfactory to the City (see Performance Standards). Emphasis should be placed upon site planning and project design measures, including optimal arrangement and configuration of rooms, windows and doors, and acoustic insulation.
- e. Light and Glare. Projects located on parcels that share a property line with an industrial land use shall be designed and oriented so that direct light and glare from the industrial activity does not intrude directly into the interior of residential units or private open spaces.
- f. Walls and Fencing. Parcels that share a property line with an industrial land use shall erect a wall or fence along the property line, to screen industrial activities from direct view.
 - 1. The wall or fence shall not exceed a height of 8 feet.
 - 2. The wall or fence shall be constructed of a solid and opaque material. Barbed wire, chain-link fencing, and open or semi-transparent materials such as mesh or latticework are prohibited.
 - 3. An earth berm may be used instead of, or in combination with, screening walls or solid fencing.

Performance Standards

Project development applications within the Housing Corridor Overlay, although exempt from the City's discretionary review process, shall be required to provide the following as part of an application in order to ensure site-specific environmental concerns are reviewed and addressed in compliance with Federal, State, and local City regulations and standards. Project development applicants will also be required to adhere to the relevant Standard Mitigation Measures provided in Appendix E, as determined by the Community Development Director, or his/her designee.

- a. Water Quality Study and plans per National Pollutant Discharge Elimination System (NPDES);
- b. Hydrology Study;
- c. Geotechnical Study;
- d. Acoustic Study - See Compatibility Standards, Noise; and
- e. Phase I Environmental Site Assessment.

2.3 Community Benefits and Incentives

As identified in Tables 2-4 and 2-5, the Housing Corridor Overlay provides optional opportunities for increased development intensity concurrent with the delivery of community benefits in order to satisfy the demand for public amenities that come with new residential development. The HCO Community Benefits and Incentives are available to all properties within the HCO. However, if a density bonus is granted in accordance with Senate Bill 1818, a developer or property owner may not also elect for bonuses established in the HCO Community Benefits and Incentives.

Each sub-area in the Housing Corridor Overlay has an established density allowed by right. A developer or property owner may elect to increase the density of allowable dwelling units per acre, subject to the delivery of specific community benefits.

The HCO Community Benefits and Incentives is based on a point system. Each community benefit type is assigned a number of points, and a project may earn points from multiple categories. The number of points is then translated into an increased residential density.

The Community Development Director is responsible for reviewing requests and determining points awarded to an applicant when community benefits are provided and a density increase is requested.

Table 2-4 - Community Benefits and Incentives

Benefit	Maximum Points	Basis for Calculating Points
Lot Consolidation	30	Consolidation of small properties under 0.5 acre in size. For every parcel that is consolidated and recorded as a single parcel, 10 points will be awarded, up to a maximum of 30 points.
Public Open Spaces	30	For 10 percent or more of the site area, or the equivalent of an additional 100 square feet per dwelling unit in excess of the usable open space requirement of Table 2-2, public open space is provided that is landscaped, provides shade trees, seating areas, bicycle racks, trash receptacles, and other amenities. Public open spaces should be located at street level and accessible to the public in the form of a plaza, park, courtyard, or paseo, and should provide wayfinding signage that is consistent with City park or open space signage. The public open space must be permanently available for public use subject to easement with restrictions and covenants acceptable to the City.
Public Art	10	Inclusion of art/cultural spaces or uses within the development, utilizing the work of artists located within Southern California.
Family Friendly Units	10	Provide 10 percent or more of total housing units with three or more bedrooms.
Family Friendly Amenities	20	Provide multiple family-friendly features, such as tot lot/playground equipment, community gar-dens, study hall, community or recreation room, pool, or other features determined to be acceptable by the Community Development Director. For each family-friendly feature, 5 points will be awarded, up to a maximum of 20 points.
Childcare Facilities	10	Provide a dedicated childcare facility within the development. The childcare facility shall be intended to provide childcare for residents of the development but may also be open to the public, as determined to be acceptable by the Community Development Director, and consistent with other City policies.
Sustainable Design	5	Development project achieves CALGreen Tier I or LEED Silver certification.

Table 2-4 - Community Benefits and Incentives

Benefit	Maximum Points	Basis for Calculating Points
Water Efficiency	5	Provide for reuse of domestic wastewater from plumbing fixtures such as showers, and clothes washers, but not including toilets and garbage disposals, to be used for landscaping, irrigation, or other use acceptable to the Health Department. Or provide for a rainwater capture system that captures and stores rainwater for landscaping, irrigation, or other use acceptable to the Health Department.
Publicly-Accessible Parking, Sub-Area 2	10	Provide publicly-accessible parking spaces equivalent to 10 percent or more of on-site required parking established in Table 2-2. Parking must be permanently available for public use subject to easement with restrictions and covenants acceptable to the City. Wayfinding signage shall also be provided for locating the publicly-accessible parking spaces from the public right-of-way, consistent with City parking signage.

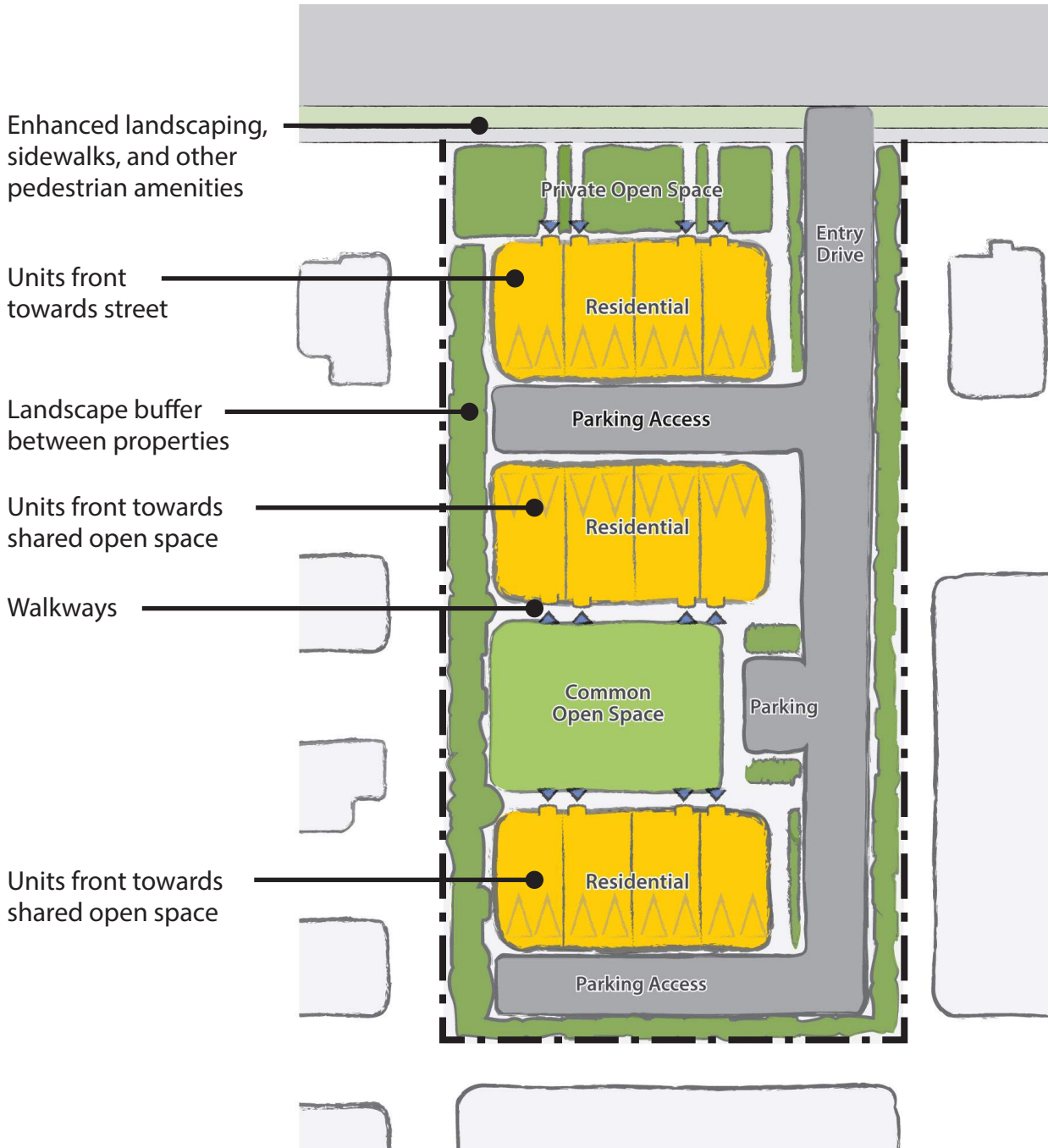
Table 2-5 - Additional Density Permitted with Points

Points Earned	Additional Density Permitted
10 or fewer points	Additional 15 percent of allowed density
11 to 20	Additional 20 percent of allowed density
21 to 40 points	Additional 25 percent of allowed density
40 points or greater	Additional 30 percent of allowed density

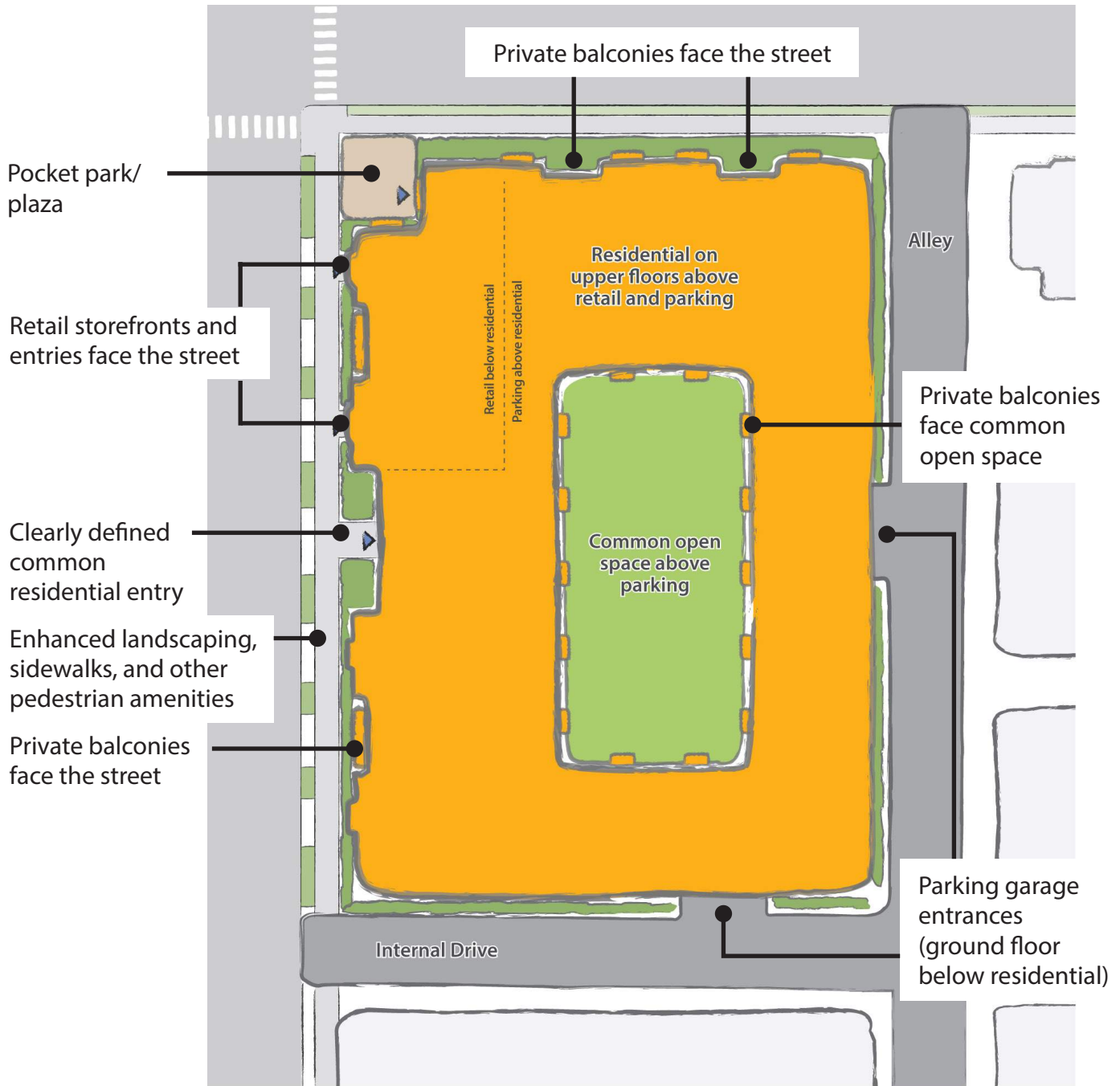
2.4 Site Plan Concepts

In support of facilitating informed discussion of the Housing Corridor Overlay development standards and to provide visual graphics to depict potential development concepts, three site plan concepts were prepared as part of the Housing Corridor Overlay process. These three site plan concepts were selected based on typical property and location characteristics found within the Housing Corridor Overlay area. The intent of these site plan concept graphics is to inform property owners and developers of quality design elements that are desirable for implementation in future projects.

The site plan concepts shown on the following pages are representative of the different Housing Corridor Overlay areas identified in this Chapter. They are conceptual in nature and do not represent a proposed project or development on any of the properties shown.



Medium Density Residential Site Plan Concept



Medium-High Density Residential Site Plan Concept

